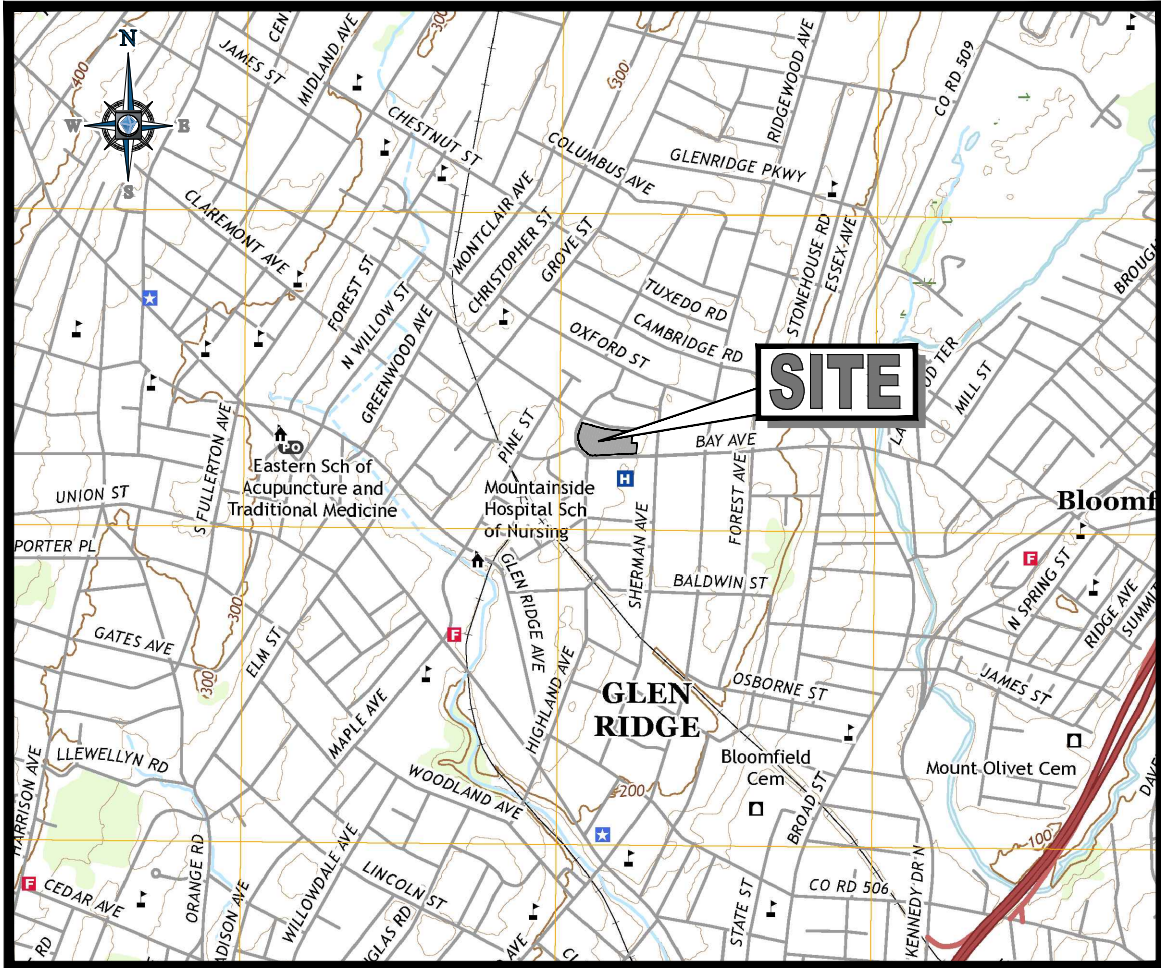


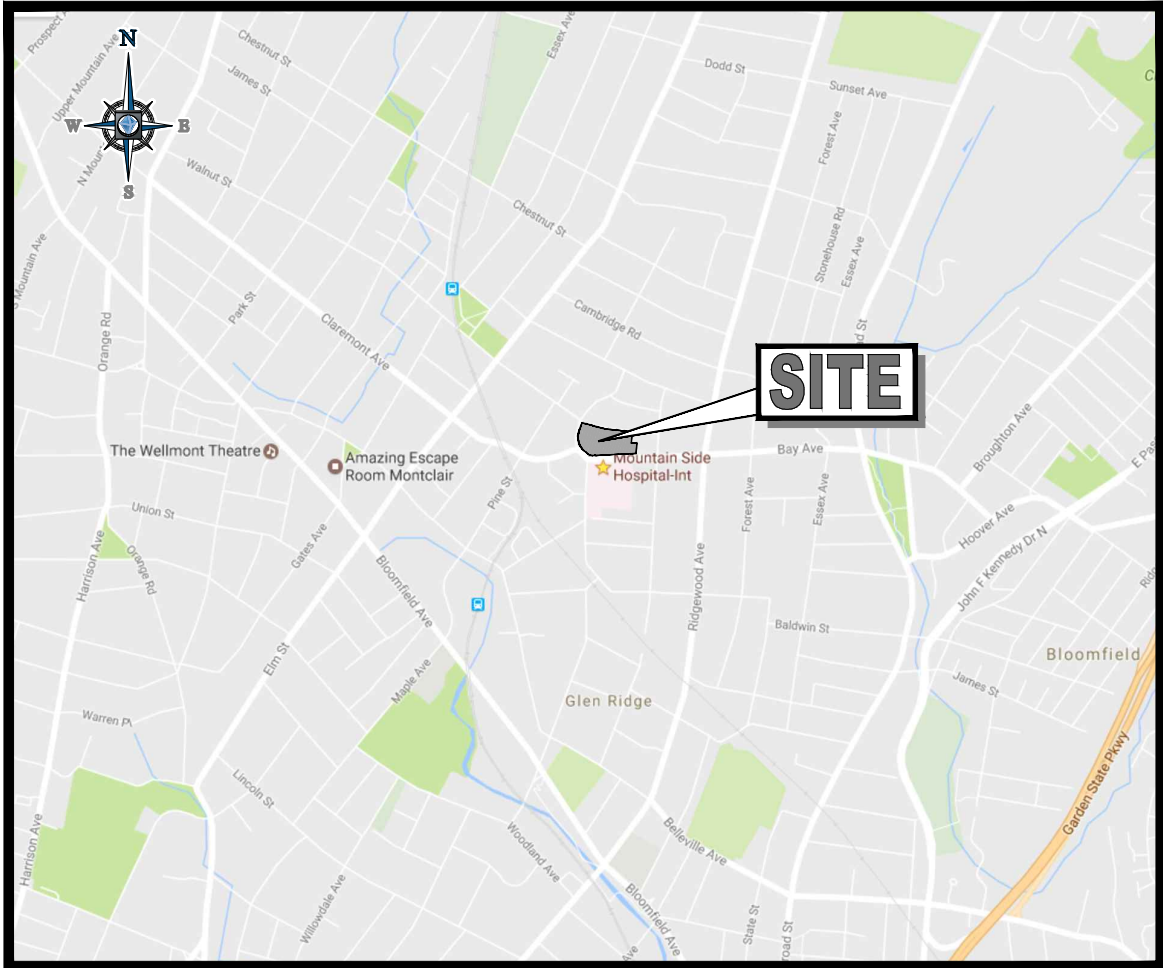
PRELIMINARY & FINAL
MAJOR SITE PLAN
FOR
ONE BAY URBAN RENEWAL LLC
PROPOSED
MEDICAL OFFICE BUILDING



USGS MAP

SCALE: 1" = 2,000'

SOURCE: U.S. GEOLOGICAL SURVEYS MAP



KEY MAP

SCALE: 1" = 2,000'

SOURCE: GOOGLE MAPS

311 BAY AVENUE, GLEN RIDGE, NJ

BOROUGH OF GLEN RIDGE

BLOCK 106, LOT 15

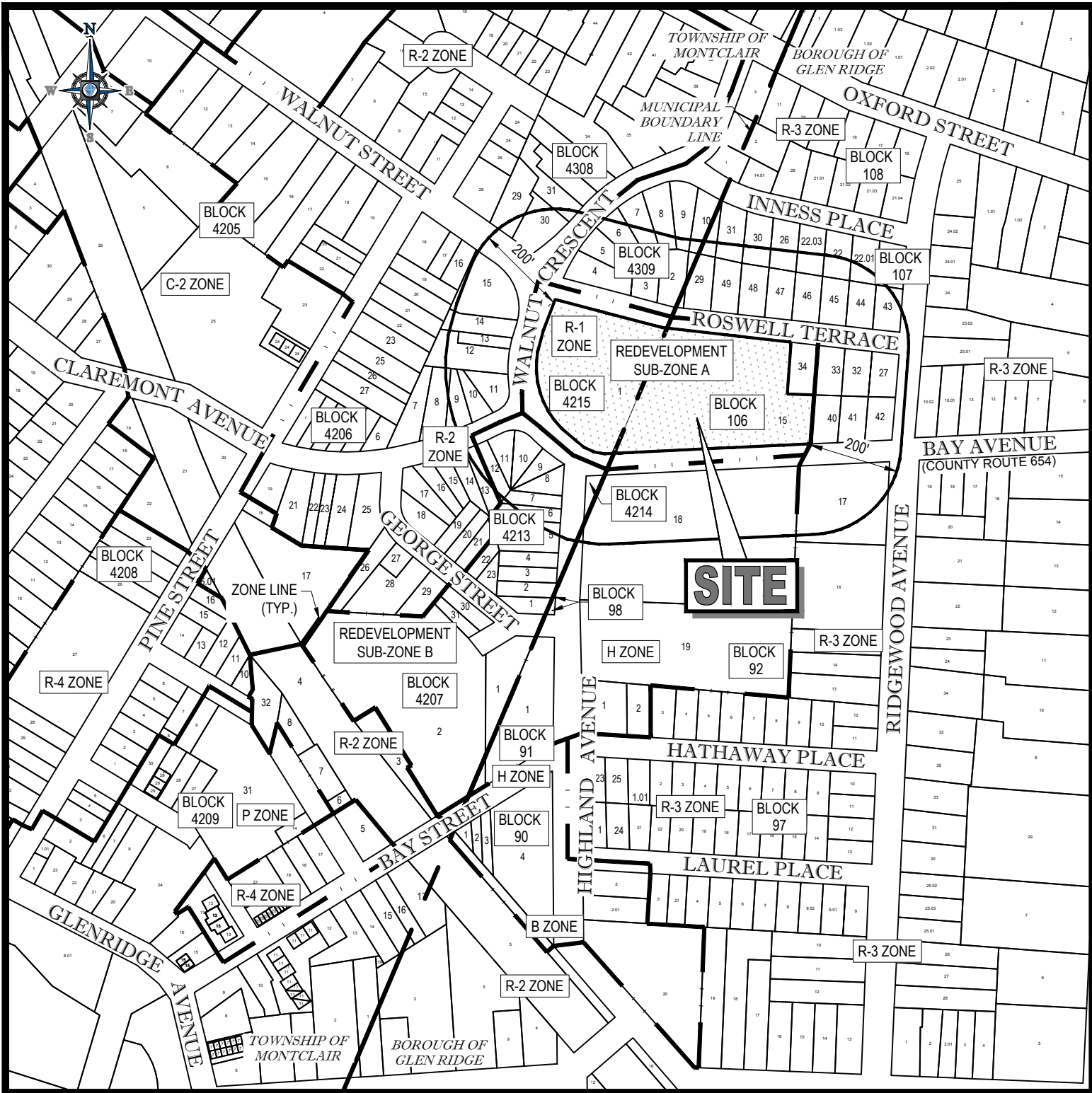
TOWNSHIP OF MONTCLAIR

BLOCK 4215, LOT 1

ESSEX COUNTY, NEW JERSEY

REDEVELOPMENT SUB-ZONE A

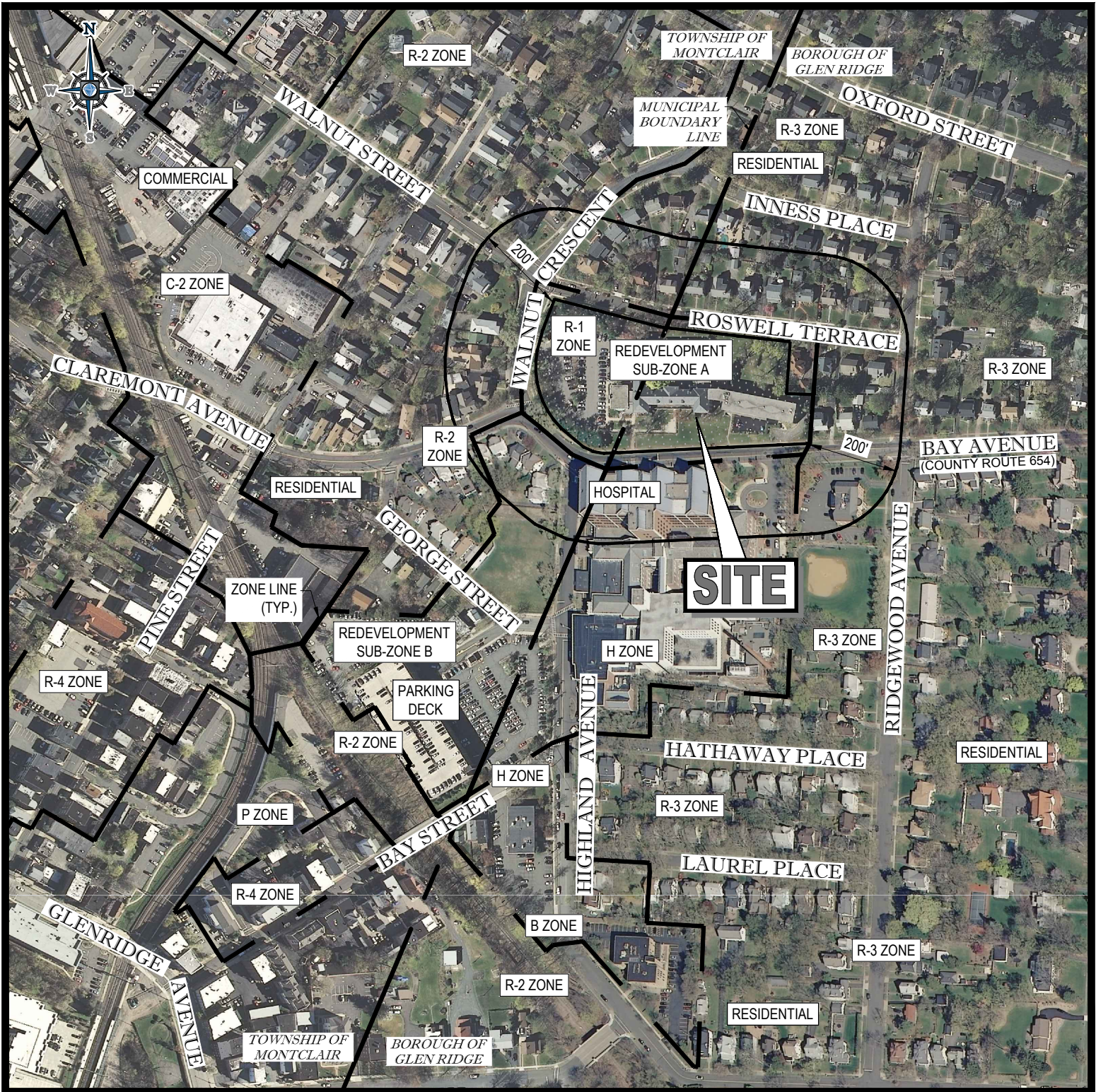
TAX MAP SHEET #35 (GLEN RIDGE) & #42 (MONTCLAIR)



TAX MAP

SCALE: 1" = 300'

SOURCE: GIS PARCEL DATA MAPS



AERIAL MAP

SCALE: 1" = 300'

SOURCE: NJGIN AERIAL WAREHOUSE

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-01 OF 17
DEMOLITION PLAN	C-02 OF 17
SITE LAYOUT PLAN	C-03 OF 17
GRADING PLAN	C-04 OF 17
DRAINAGE & UTILITY PLAN	C-05 OF 17
LIGHTING PLAN	C-06 OF 17
LANDSCAPE PLAN	C-07 OF 17
LANDSCAPE NOTES & DETAILS	C-08 OF 17
SOIL EROSION & SEDIMENT CONTROL PLAN	C-09 OF 17
SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET	C-10 OF 17
DETAIL SHEET	C-11 THRU C-17 OF 17
PASSENGER CAR CIRCULATION PLAN	1 OF 2
TRUCK CIRCULATION PLAN	2 OF 2
ALTA/ACSM LAND TITLE SURVEY (BY CPA)	1 OF 1

APPROVAL BLOCK

BOROUGH OF GLEN RIDGE BOARD APPROVAL APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF GLEN RIDGE, NEW JERSEY.	
CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE
TOWNSHIP OF MONTCLAIR BOARD APPROVAL APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MONTCLAIR, NEW JERSEY.	
CHAIRPERSON	DATE
SECRETARY	DATE
ENGINEER	DATE



REVISIONS			
REV	DATE	COMMENT	BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS	MB/AC

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS SPECIFICALLY NOTED OTHERWISE.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY



PROJECT No.: J140578
DRAWN BY: GBUZ
CHECKED BY: TABB
DATE: 10/27/2017
SCALE: AS SHOWN
CAD I.D.: J140578-CDS-1A

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING

BLOCK 106, LOT 15 (GLEN RIDGE) AND
BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE &
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER
ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 688-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION No. 245A28161709

B.A. BOHLER

PROFESSIONAL ENGINEER

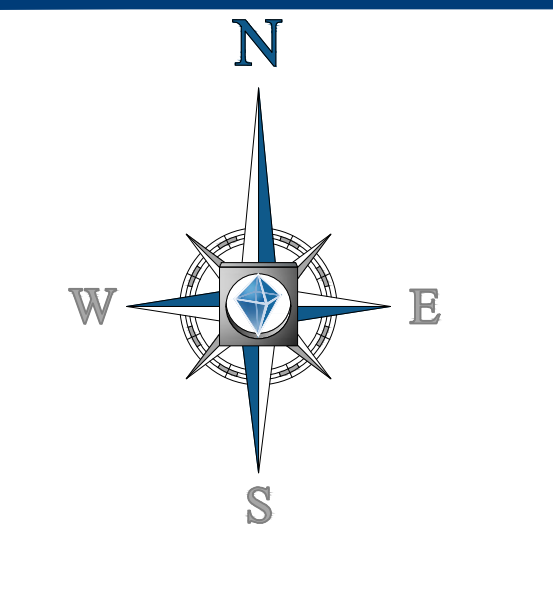
NEW JERSEY LICENSE No. 47421 NEW YORK LICENSE No. 08614-1
DELAWARE LICENSE No. 17111 CONNECTICUT LICENSE No. 26039
FLORIDA LICENSE No. 73277 PENNSYLVANIA LICENSE No. 077366

SHEET TITLE:

COVER SHEET

SHEET NUMBER:
C-01
OF 17

REVISION 1 - 03/15/2018



ALL EXISTING ON-SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING FEATURES OUTSIDE THE LIMIT OF DISTURBANCE ARE TO REMAIN UNLESS OTHERWISE NOTED.

T.B.R. = FEATURE TO BE REMOVED

ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

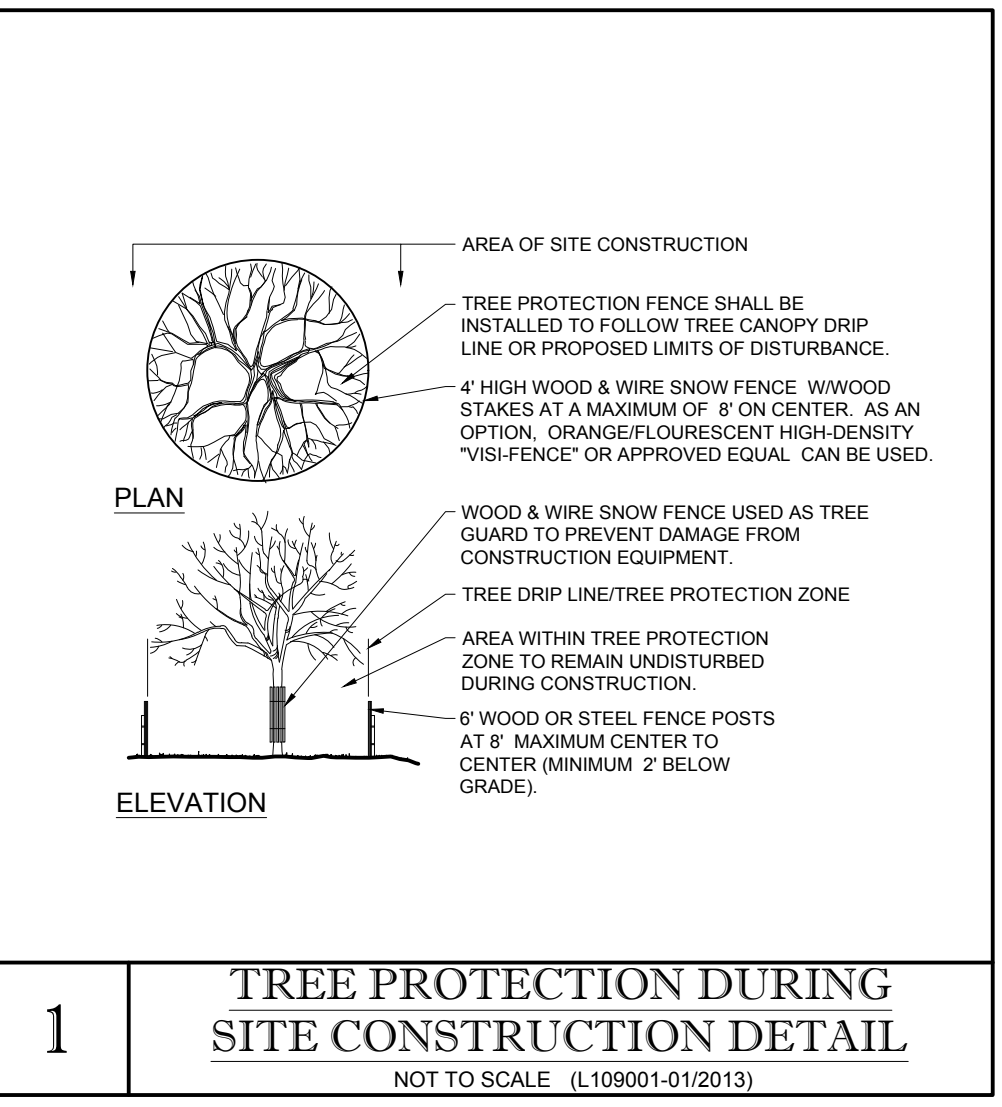
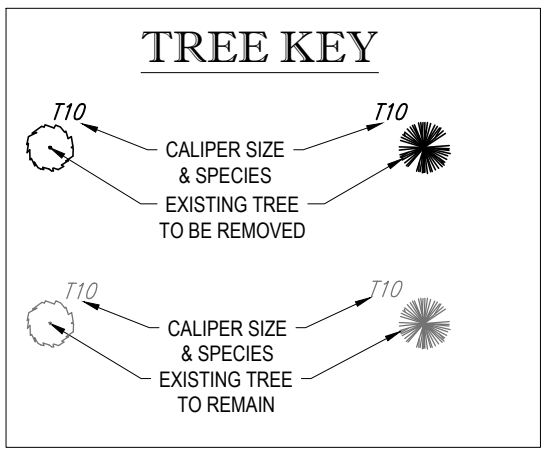
THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN FOR SOIL EROSION NOTES AND MEASURES.

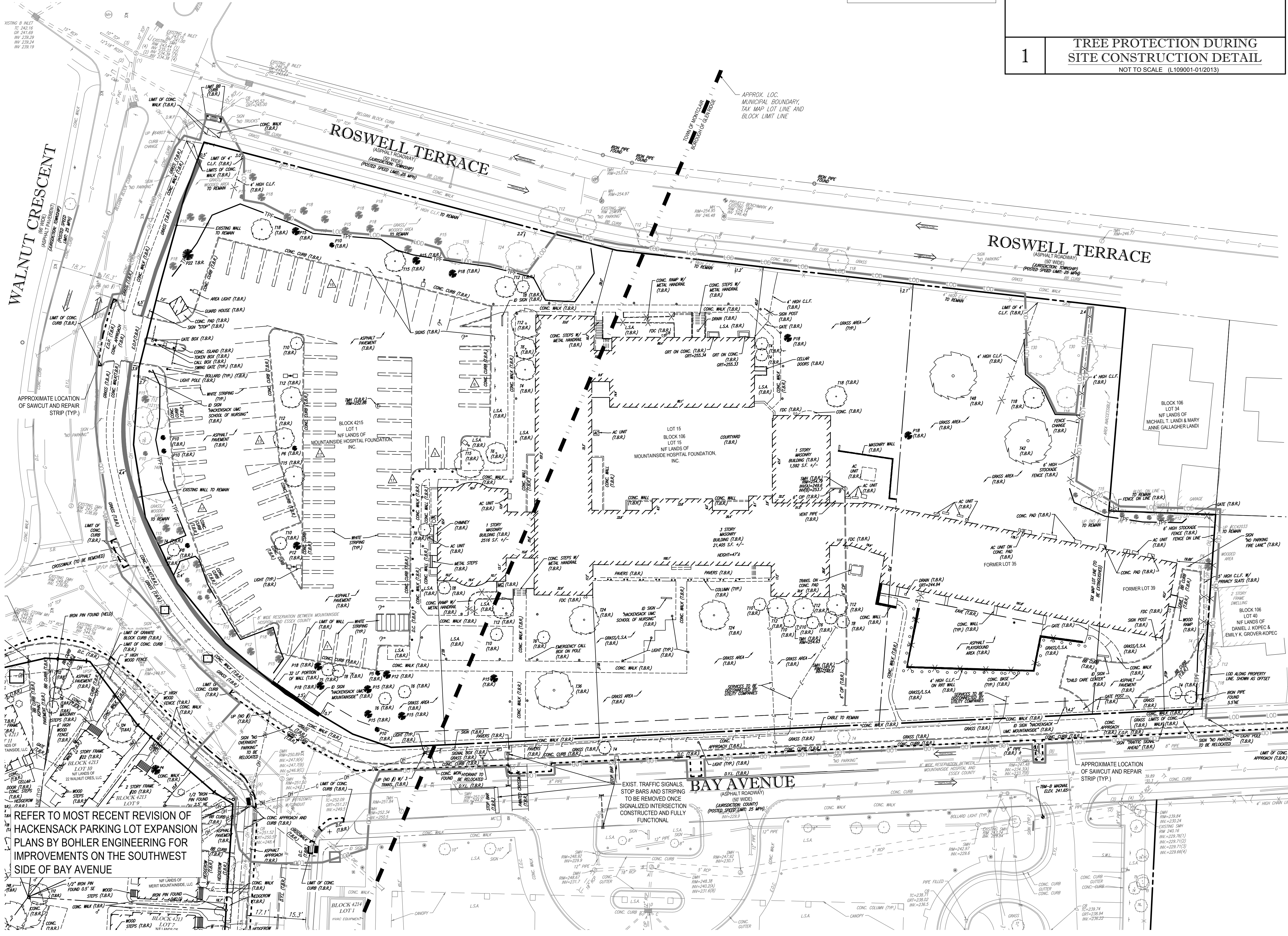
T.P.F. = TREE PROTECTION FENCE

LIMIT OF DISTURBANCE NOTE
THE PROPOSED LIMIT OF DISTURBANCE (LOD) FOLLOWS ALONG A PORTION OF BLOCK 106 LOT 40 & 34; HOWEVER IS DEPICTED OFFSET ON THE PLAN FOR VISUAL REPRESENTATIONS.

UTILITY REMOVAL NOTE
1. WATER AND GAS SERVICE LINES ARE TO BE CUT AND CAPPED AT THE MAIN. CONTRACTOR TO COORDINATE WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO REMOVAL.
2. EXISTING SANITARY SEWER IS TO BE REMOVED AND CUT AND CAPPED AT THE MAIN.
3. UTILITY POLE AND UTILITY POLE LIGHT REMOVAL IS TO BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDER.



- DEMOLITION NOTES:**
(000103 - 03/12/12)
- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
CONTROL POINT ASSOCIATES, INC.
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
DATED 02/26/15, REVISED 01/17/2018
JOB# C-140233.01
 - CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AND THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (NJSA 48:2-73, et seq.) AS AMENDED.
 - BOHLER ENGINEERING HAS NO CONTRACTUAL RESPONSIBILITY FOR JOB SITE SAFETY OR SUPERVISION.
 - THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
 - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH BOHLER ENGINEERING, IN WRITING AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
 - PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
 - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
 - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
 - THE FIRM OR ENGINEER OR RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
 - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
 - THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
 - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
 - CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
 - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
 - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
 - CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
 - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
 - CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.



REFER TO MOST RECENT REVISION OF HACKENSACK PARKING LOT EXPANSION PLANS BY BOHLER ENGINEERING FOR IMPROVEMENTS ON THE SOUTHWEST SIDE OF BAY AVENUE

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVIVING DESIGN
SUSTAINABLE DESIGN
PERMITTING SERVICES
PROGRAM MANAGEMENT
TRANSPORTATION SERVICES
LANDSCAPE ARCHITECTURE

CHARLOTTE, NC
CHICAGO, IL
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
LOS ANGELES, CA
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
PORTLAND, OR
SAN ANTONIO, TX
SAN FRANCISCO, CA
SEATTLE, WA
SOUTH BEND, IN
TAMPA, FL
WASHINGTON, DC
WICHITA, KS
WILSON, NC

REVISIONS			DATE	REVISION	BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS			

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

PROJECT NO.: J140578
DRAWN BY: GBUZ
CHECKED BY: TABB
DATE: 10/27/2017
SCALE: AS SHOWN
CAD ID: J140578-SP-1A

PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING

BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING

35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 668-5300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 245242616700

B.A. BOHLER

PROFESSIONAL ENGINEER

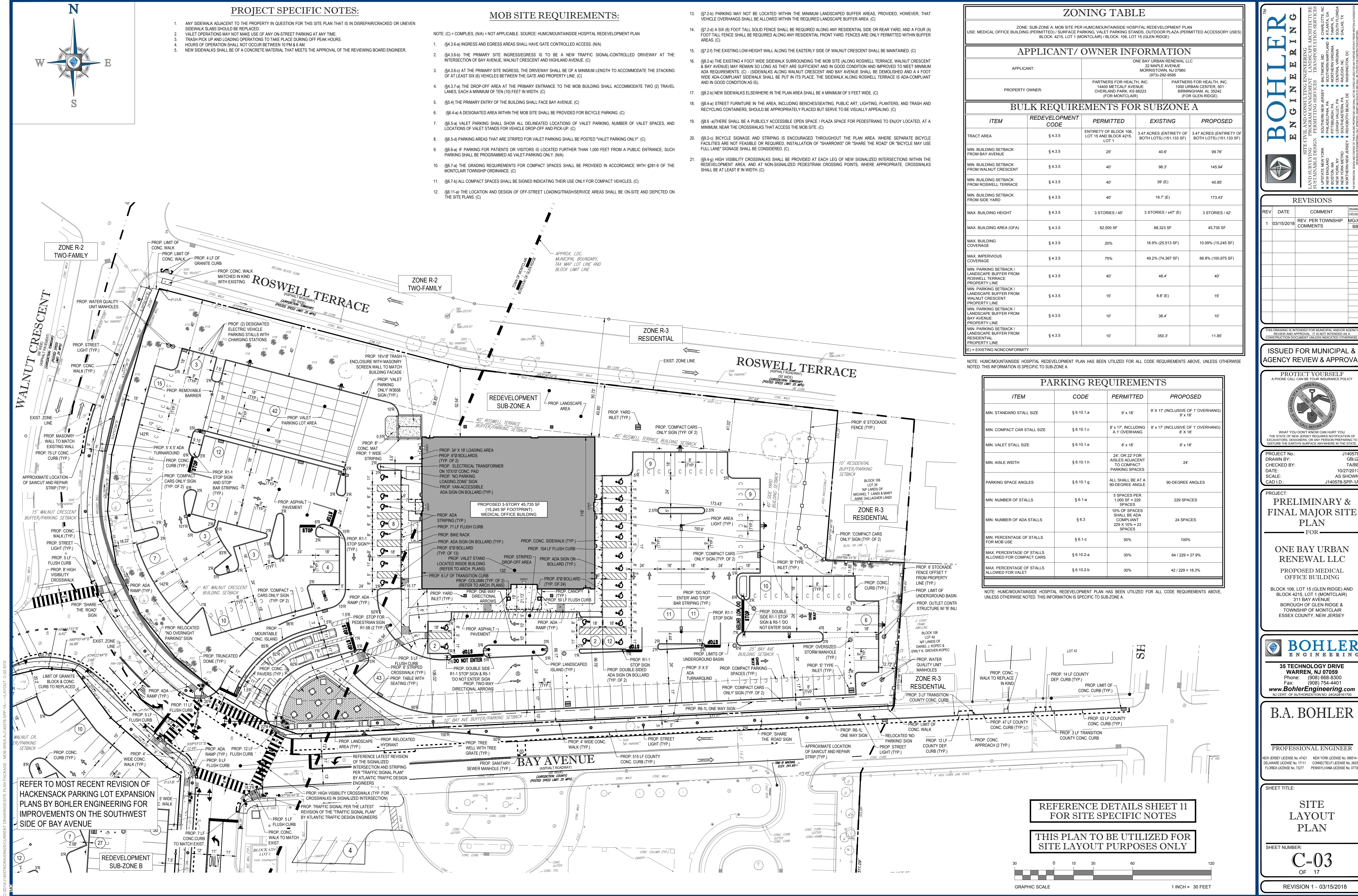
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FLORIDA LICENSE NO. 73277

NEW YORK LICENSE NO. 28814-1
CONNECTICUT LICENSE NO. 26039
PENNSYLVANIA LICENSE NO. 077366

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-02
OF 17

REVISION 1 - 03/15/2018



PROJECT SPECIFIC NOTES:

- ANY SIDEWALK ADJACENT TO THE PROPERTY IN QUESTION FOR THIS SITE PLAN IS IN DISREPAIR/CRACKED OR UNEVEN
- SIDEWALK SLABS SHOULD BE REPLACED.
- VALET OPERATIONS MAY NOT MAKE USE OF ANY ON-STREET PARKING AT ANY TIME.
- TRASH PICK UP AND LOADING OPERATIONS TO TAKE PLACE DURING OFF PEAK HOURS.
- HOURS OF OPERATION SHALL NOT OCCUR BETWEEN 10 PM & 6 AM.
- NEW SIDEWALKS SHALL BE OF A CONCRETE MATERIAL THAT MEETS THE APPROVAL OF THE REVIEWING BOARD ENGINEER.

MOB SITE REQUIREMENTS:

NOTE: (C) = COMPLIES, (N/A) = NOT APPLICABLE. SOURCE: HUMCKMOUNTAINSIDE HOSPITAL REDEVELOPMENT PLAN

- (\$4.3.6-a) INGRESS AND EGRESS AREAS SHALL HAVE GATE CONTROLLED ACCESS. (N/A)
- (\$4.3.6-b) THE PRIMARY SITE INGRESS/EGRESS IS TO BE A NEW TRAFFIC SIGNAL-CONTROLLED DRIVEWAY AT THE INTERSECTION OF BAY AVENUE, WALNUT CRESCENT AND HIGHLAND AVENUE. (C)
- (\$4.3.6-c) AT THE PRIMARY SITE INGRESS, THE DRIVEWAY SHALL BE OF A MINIMUM LENGTH TO ACCOMMODATE THE STACKING OF AT LEAST SIX (6) VEHICLES BETWEEN THE GATE AND PROPERTY LINE. (C)
- (\$4.3.7-a) THE DROP-OFF AREA AT THE PRIMARY ENTRANCE TO THE MOB BUILDING SHALL ACCOMMODATE TWO (2) TRAVEL LANES, EACH A MINIMUM OF TEN (10) FEET IN WIDTH. (C)
- (\$5.4) THE PRIMARY ENTRY OF THE BUILDING SHALL FACE BAY AVENUE. (C)
- (\$6.4-a) A DESIGNATED AREA WITHIN THE MOB SITE SHALL BE PROVIDED FOR BICYCLE PARKING. (C)
- (\$6.5-a) VALET PARKING SHALL SHOW ALL DELINEATED LOCATIONS OF VALET PARKING, NUMBER OF VALET SPACES, AND LOCATIONS OF VALET STANDS FOR VEHICLE DROP-OFF AND PICK-UP. (C)
- (\$6.5-b) PARKING AREAS THAT ARE STRIPED FOR VALET PARKING SHALL BE POSTED "VALET PARKING ONLY". (C)
- (\$6.6-a) IF PARKING FOR PATIENTS OR VISITORS IS LOCATED FURTHER THAN 1,000 FEET FROM A PUBLIC ENTRANCE, SUCH PARKING SHALL BE PROGRAMMED AS VALET-PARKING ONLY. (N/A)
- (\$6.7-a) THE GRADING REQUIREMENTS FOR COMPACT SPACES SHALL BE PROVIDED IN ACCORDANCE WITH §281-9 OF THE MONTCLAIR TOWNSHIP ORDINANCE. (C)
- (\$6.7-b) ALL COMPACT SPACES SHALL BE SIGNED INDICATING THEIR USE ONLY FOR COMPACT VEHICLES. (C)
- (\$6.11-a) THE LOCATION AND DESIGN OF OFF-STREET LOADING/TRASH/SERVICE AREAS SHALL BE ON-SITE AND DEPICTED ON THE SITE PLANS. (C)

- (\$7.2-b) PARKING MAY NOT BE LOCATED WITHIN THE MINIMUM LANDSCAPED BUFFER AREAS, PROVIDED, HOWEVER, THAT VEHICLE OVERHANGS SHALL BE ALLOWED WITHIN THE REQUIRED LANDSCAPE BUFFER AREA. (C)
- (\$7.2-c) A SIX (6) FOOT TALL SOLID FENCE SHALL BE REQUIRED ALONG ANY RESIDENTIAL SIDE OR REAR YARD, AND A FOUR (4) FOOT TALL FENCE SHALL BE REQUIRED ALONG ANY RESIDENTIAL FRONT YARD. FENCES ARE ONLY PERMITTED WITHIN BUFFER AREAS. (C)
- (\$7.2-d) THE EXISTING LOW-HEIGHT WALL ALONG THE EASTERLY SIDE OF WALNUT CRESCENT SHALL BE MAINTAINED. (C)
- (\$8.2-a) THE EXISTING 4 FOOT WIDE SIDEWALK SURROUNDING THE MOB SITE (ALONG ROSWELL TERRACE, WALNUT CRESCENT & BAY AVENUE) MAY REMAIN SO LONG AS THEY ARE SUFFICIENT AND IN GOOD CONDITION AND IMPROVED TO MEET MINIMUM ADA REQUIREMENTS. (C) - (SIDEWALKS ALONG WALNUT CRESCENT AND BAY AVENUE SHALL BE DEMOLISHED AND A 4 FOOT WIDE ADA-COMPLIANT SIDEWALK SHALL BE PUT IN ITS PLACE. THE SIDEWALK ALONG ROSWELL TERRACE IS ADA-COMPLIANT AND IN GOOD CONDITION AS IS).
- (\$8.2-b) NEW SIDEWALKS ELSEWHERE IN THE PLAN AREA SHALL BE A MINIMUM OF 5 FEET WIDE. (C)
- (\$8.4-a) STREET FURNITURE IN THE AREA, INCLUDING BENCHES/SEATING, PUBLIC ART, LIGHTING, PLANTERS, AND TRASH AND RECYCLING CONTAINERS, SHOULD BE APPROPRIATELY PLACED BUT SERVE TO BE VISUALLY APPEALING. (C)
- (\$8.6-a) THERE SHALL BE A PUBLICLY ACCESSIBLE OPEN SPACE / PLAZA SPACE FOR PEDESTRIANS TO ENJOY LOCATED, AT A MINIMUM, NEAR THE CROSSWALKS THAT ACCESS THE MOB SITE. (C)
- (\$9.2-c) BICYCLE SIGNAGE AND STRIPING IS ENCOURAGED THROUGHOUT THE PLAN AREA, WHERE SEPARATE BICYCLE FACILITIES ARE NOT FEASIBLE OR REQUIRED, INSTALLATION OF "SHARROWS" OR "SHARE THE ROAD" OR "BICYCLE MAY USE FULL LANE" SIGNAGE SHALL BE CONSIDERED. (C)
- (\$9.4-g) HIGH VISIBILITY CROSSWALKS SHALL BE PROVIDED AT EACH LEG OF NEW SIGNALIZED INTERSECTIONS WITHIN THE REDEVELOPMENT AREA, AND AT NON-SIGNALIZED PEDESTRIAN CROSSING POINTS, WHERE APPROPRIATE. CROSSWALKS SHALL BE AT LEAST 8' IN WIDTH. (C)

ZONING TABLE

ZONE: SUB-ZONE A MOB SITE PER HUMCKMOUNTAINSIDE HOSPITAL REDEVELOPMENT PLAN
USE: MEDICAL OFFICE BUILDING (PERMITTED) / SURFACE PARKING, VALET PARKING STANDS, OUTDOOR PLAZA (PERMITTED ACCESSORY USES)
BLOCK: 4215, LOT 1 (MONTCLAIR) / BLOCK: 106, LOT 15 (GLEN RIDGE)

APPLICANT/ OWNER INFORMATION

APPLICANT:	ONE BAY URBAN RENEWAL LLC 22 MAPLE AVENUE MONTCLAIR, NJ 07060 (973) 292-9895
PROPERTY OWNER:	PARTNERS FOR HEALTH, INC. 14400 METCALF AVENUE OVERLAND PARK, KS 66223 (FOR MONTCLAIR) PARTNERS FOR HEALTH, INC. 1000 URBAN CENTER, 501 BIRMINGHAM, AL 35242 (FOR GLEN RIDGE)

BULK REQUIREMENTS FOR SUBZONE A

ITEM	REDEVELOPMENT CODE	PERMITTED	EXISTING	PROPOSED
TRACT AREA	\$ 4.3.5	ENTIRETY OF BLOCK 106, LOT 15 AND BLOCK 4215, LOT 1	3.47 ACRES (ENTIRETY OF BOTH LOTS) (151,133 SF)	3.47 ACRES (ENTIRETY OF BOTH LOTS) (151,133 SF)
MIN. BUILDING SETBACK FROM BAY AVENUE	\$ 4.3.5	25'	40.6'	99.76'
MIN. BUILDING SETBACK FROM WALNUT CRESCENT	\$ 4.3.5	40'	98.3'	145.94'
MIN. BUILDING SETBACK FROM ROSWELL TERRACE	\$ 4.3.5	40'	39' (E)	40.85'
MIN. BUILDING SETBACK FROM SIDE YARD	\$ 4.3.5	40'	19.7' (E)	173.43'
MAX. BUILDING HEIGHT	\$ 4.3.5	3 STORIES / 45'	3 STORIES / 47' (E)	3 STORIES / 42'
MAX. BUILDING AREA (GFA)	\$ 4.3.5	62,500 SF	66,323 SF	45,735 SF
MAX. BUILDING COVERAGE	\$ 4.3.5	20%	16.9% (25,513 SF)	10.09% (15,245 SF)
MAX. IMPERVIOUS COVERAGE	\$ 4.3.5	75%	49.2% (74,367 SF)	66.8% (100,975 SF)
MIN. PARKING SETBACK / LANDSCAPE BUFFER FROM ROSWELL TERRACE PROPERTY LINE	\$ 4.3.5	40'	48.4'	40'
MIN. PARKING SETBACK / LANDSCAPE BUFFER FROM WALNUT CRESCENT PROPERTY LINE	\$ 4.3.5	15'	8.8' (E)	15'
MIN. PARKING SETBACK / LANDSCAPE BUFFER FROM BAY AVENUE PROPERTY LINE	\$ 4.3.5	10'	38.4'	10'
MIN. PARKING SETBACK / LANDSCAPE BUFFER FROM RESIDENTIAL PROPERTY LINE	\$ 4.3.5	10'	350.3'	11.85'

(E) = EXISTING NONCONFORMITY
NOTE: HUMCKMOUNTAINSIDE HOSPITAL REDEVELOPMENT PLAN HAS BEEN UTILIZED FOR ALL CODE REQUIREMENTS ABOVE, UNLESS OTHERWISE NOTED. THIS INFORMATION IS SPECIFIC TO SUB-ZONE A.

PARKING REQUIREMENTS

ITEM	CODE	PERMITTED	PROPOSED
MIN. STANDARD STALL SIZE	\$ 6.10.1.a	9' x 18'	9' x 17' (INCLUSIVE OF 1' OVERHANG) 8' x 18'
MIN. COMPACT CAR STALL SIZE	\$ 6.10.1.c	8' x 17', INCLUDING A 1' OVERHANG	8' x 17' (INCLUSIVE OF 1' OVERHANG) 8' x 18'
MIN. VALET STALL SIZE	\$ 6.10.1.e	8' x 18'	8' x 18'
MIN. AISLE WIDTH	\$ 6.10.1.h	24' OR 22' FOR AISLES ADJACENT TO COMPACT PARKING SPACES	24'
PARKING SPACE ANGLES	\$ 6.10.1.g	ALL SHALL BE AT A 90-DEGREE ANGLE	90-DEGREE ANGLES
MIN. NUMBER OF STALLS	\$ 6.1-a	5 SPACES PER 1,000 SF = 229 SPACES	229 SPACES
MIN. NUMBER OF ADA STALLS	\$ 6.3	10% OF SPACES SHALL BE ADA COMPLIANT 229 x 10% = 23 SPACES	24 SPACES
MIN. PERCENTAGE OF STALLS FOR MOB USE	\$ 6.1-c	50%	100%
MAX. PERCENTAGE OF STALLS ALLOWED FOR COMPACT CARS	\$ 6.10.2-a	30%	64 / 229 = 27.9%
MAX. PERCENTAGE OF STALLS ALLOWED FOR VALET	\$ 6.10.2-b	30%	42 / 229 = 18.3%

NOTE: HUMCKMOUNTAINSIDE HOSPITAL REDEVELOPMENT PLAN HAS BEEN UTILIZED FOR ALL CODE REQUIREMENTS ABOVE, UNLESS OTHERWISE NOTED. THIS INFORMATION IS SPECIFIC TO SUB-ZONE A.

REFERENCE DETAILS SHEET 11 FOR SITE SPECIFIC NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

CHARLOTTE, NC
BALTIMORE, MD
BIRMINGHAM, AL
BOULDER, CO
CHICAGO, IL
CINCINNATI, OH
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
LOS ANGELES, CA
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
PORTLAND, OR
SAN ANTONIO, TX
SAN FRANCISCO, CA
SEATTLE, WA
SOUTH BEND, IN
TAMPA, FL
TULSA, OK
WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS	MAC

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A PROFESSIONAL ENGINEERING DOCUMENT UNLESS SPECIFICALLY NOTED OTHERWISE.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF ESCALATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

PROJECT No.: J140578
DRAWN BY: GBUZ
CHECKED BY: TABB
DATE: 10/27/17
SCALE: AS SHOWN
CAD I.D.: J140578-SP-1A

PRELIMINARY & FINAL MAJOR SITE PLAN FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING

35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 688-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 245428161700

B.A. BOHLER

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 47421 NEW YORK LICENSE NO. 59814-1
DELAWARE LICENSE NO. 17111 CONNECTICUT LICENSE NO. 26039
FLORIDA LICENSE NO. 73277 PENNSYLVANIA LICENSE NO. 077366

SHEET TITLE: SITE LAYOUT PLAN

SHEET NUMBER: C-03 OF 17

REVISION 1 - 03/15/2018



CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7 BARRIER FREE ACCESS. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 148 (1/4") PER FOOT OR NORMALLY 2.0% IN ANY DIRECTION.
 CURB RUMPS - SLOPE SHALL NOT EXCEED -1.12 (3/8%) FOR A MAXIMUM OF 50 (6") IF FOOT OR NORMALLY 0.5% IN ANY DIRECTION.
 RAMP SLOPE - SLOPE SHALL NOT EXCEED 148 (1/4") PER FOOT OR NORMALLY 2.0% IN ANY DIRECTION. SLOPE SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 148 (1/4") PER FOOT OR NORMALLY 2.0% CROSS SLOPE.
 PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR WHEELS) UNLESS THE PATH OF TRAVEL IS LESS THAN 120 (50.8) OR 58" PER FOOT OR NORMALLY 2.0% IN ANY DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 148 (1/4") PER FOOT OR NORMALLY 2.0% IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 120 (50.8), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET SHALL BE PROVIDED. THE RAMP SHALL HAVE A DOWN HAND RAMP AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSSED NORMALLY OR WHEEL CHAIR ACCESSIBLE. THE RAMP SHALL BE 36 INCHES WIDE.
 DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE UP THE DOOR THAT IT IS SLOPED NO MORE THAN 148 (1/4") PER FOOT OR NORMALLY 2.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG AND NO LESS THAN 48 INCHES (4 FEET) WIDE. FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE IBC 1010.1.1) SEE IBC 1010.1.1.1 AND 1010.1.1.2 AND OTHER REFERENCES INCORPORATED BY CODE.

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

(U010102 - 03/12/12)



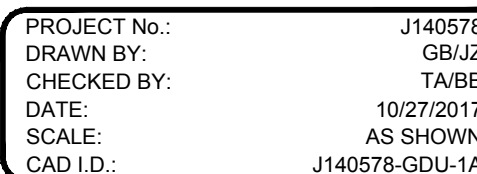
- (G000102 - 03/12/12)

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY COMPANIES SHALL BE NOTIFIED IN WRITING PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, OPTIC FIBER, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
4. THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY REQUIREMENTS.
6. THE CONTRACTOR SHALL INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, SLOPES, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE PROVIDER SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH UTILITY REQUIREMENTS HAVING JURISDICTION, AND SHALL BE RESPONSIBLE FOR COORDINATING THE UTILITY RE-CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/DRAINAGE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO RESOLVE SAME.
8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S WORK FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
10. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPAIRING UNDERGROUND UTILITIES WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FIELDED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FIELDED AREAS AND SUBGRADE AREAS WITHIN THE PAVED PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY THE ENGINEER/DEVELOPER, OR OWNER/DEVELOPER OR REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO EXCAVATION, BACKFILL, AND COMPACTING SHALL COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF A GEOTECHNICAL REPORT, EARTHWORK ACTIVITIES SHALL COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION).
11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY'S SPECIFICATIONS.
12. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST ASHRAE STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF ASHRAE, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
13. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ANNOUANCE WITH ALL APPLICABLE STANDARDS.
15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR SHALL MAINTAIN A RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL CAREFULLY NOTE ANY INSTALLATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD SHALL BE KEPT ON A CLEAN COPY OF THE SITE PLAN, AND BE PROVIDED TO THE OWNER AT THE COMPLETION OF WORK.
16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR SHALL EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR SHALL PROVIDE A FIELD LOCATING MAP TO THE OWNER WITH THIS DATA AND SHALL NOTE THE LOCATION ON A CLEAN COPY OF THE SITE PLAN, TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE WORK.
17. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE AT THE CONTRACTOR'S OWN RISK.
18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB EDGE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
19. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
-
20. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
21. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL, SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
22. WHERE RETAINING WALL ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFY ARE FOR EXPOSED PORTION OF THE WALL. WALL FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
23. STORM DRAINAGE PIPE:

UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT SHALL CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGLULAR CORNERS) WITH GASKET FOR SILT TIGHT JOINT.
24. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL SHALL BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED OTHERWISE.
25. STORMWATER FLOW DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR TO VERIFY LOCATIONS BASED ON FINAL ARCHITECTURAL PLANS.
26. SEWERS CROSSING STRAIGHTS AND/OR LOCATED WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, SHALL BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.
27. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY HAVING JURISDICTION.
- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE. THE CONSTRUCTION OF SUCH ENCASEMENT SHALL BE IDENTICAL TO THAT OF SUB-PARALLEL TO AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED.
28. WATER MAIN PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING SHALL BE CEMENT-UNION DUCTILE IRON (DI). ALL PIPE AND APPURTENANCES SHALL COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
29. CONTRACTOR TO ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, SHALL BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR NJDOT DETAILS AS APPLICABLE. CONTRACTOR IS TO COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK AND THE AGENCY HAVING JURISDICTION.

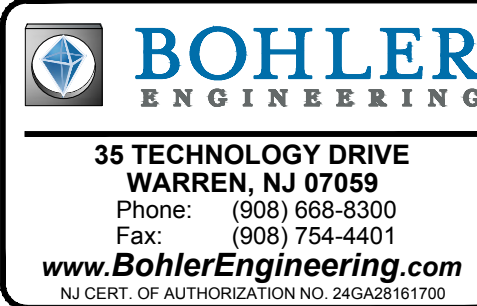
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ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL



PROJECT:
PRELIMINARY &
FINAL MAJOR SITE
PLAN

**ONE BAY URBAN
RENEWAL LLC**
**PROPOSED MEDICAL
OFFICE BUILDING**
**BLOCK 106, LOT 15 (GLEN RIDGE) AND
BLOCK 4215, LOT 1 (MONTCLAIR)**
311 BAY AVENUE
**BOROUGH OF GLEN RIDGE &
TOWNSHIP OF MONTCLAIR**
ESSEX COUNTY, NEW JERSEY



B.A. BOHLER

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 47421
DELAWARE LICENSE No. 17111
FLORIDA LICENSE No. 73277

SHEET TITLE:

SHEET NUMBER:

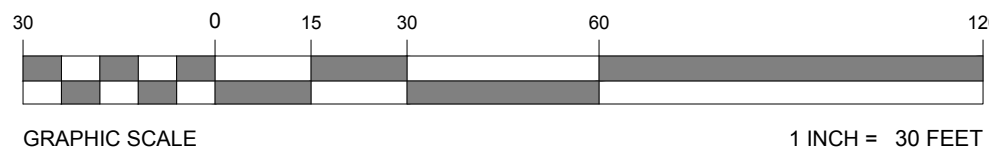
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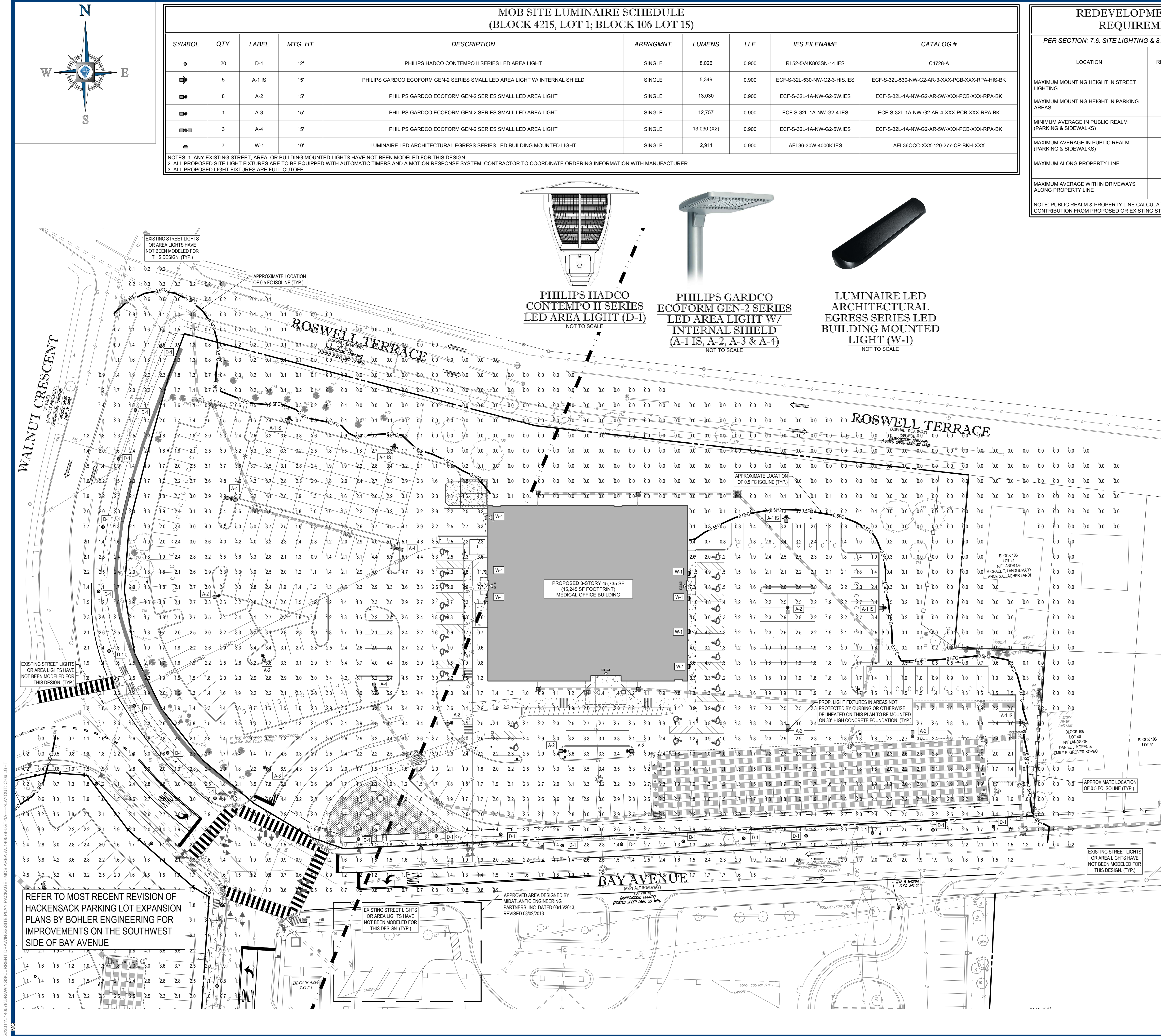
REVISION 1 - 03/15/2018

REFER TO MOST RECENT REVISION OF
HACKENSACK PARKING LOT EXPANSIO
PLANS BY BOHLER ENGINEERING FOR
IMPROVEMENTS ON THE SOUTHWEST
SIDE OF BAY AVENUE

PAVEMENT BEING REPAIRED WITHIN THE
RIGHT OF WAY MUST BE GRADED TO MATCH
THE EXISTING GRADES AND SLOPES.

THIS PLAN TO BE UTILIZED FOR
SITE GRADING PURPOSES ONLY





MOB SITE LUMINAIRE SCHEDULE (BLOCK 4215, LOT 1; BLOCK 106 LOT 15)									
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	IES FILENAME	CATALOG #
	20	D-1	12'	PHILIPS HADCO CONTEMPO II SERIES LED AREA LIGHT	SINGLE	8,026	0.900	RL52-5V4K803SN-14.IES	C4728-A
	5	A-1 IS	15'	PHILIPS GARDCO ECOFORM GEN-2 SERIES SMALL LED AREA LIGHT W/ INTERNAL SHIELD	SINGLE	5,349	0.900	ECF-S-32L-530-NW-G2-3-HIS.IES	ECF-S-32L-530-NW-G2-AR-3-XXX-PCB-XXX-RPA-HIS-BK
	8	A-2	15'	PHILIPS GARDCO ECOFORM GEN-2 SERIES SMALL LED AREA LIGHT	SINGLE	13,030	0.900	ECF-S-32L-1A-NW-G2-5W.IES	ECF-S-32L-1A-NW-G2-AR-5W-XXX-PCB-XXX-RPA-BK
	1	A-3	15'	PHILIPS GARDCO ECOFORM GEN-2 SERIES SMALL LED AREA LIGHT	SINGLE	12,757	0.900	ECF-S-32L-1A-NW-G2.4.IES	ECF-S-32L-1A-NW-G2-AR-4-XXX-PCB-XXX-RPA-BK
	3	A-4	15'	PHILIPS GARDCO ECOFORM GEN-2 SERIES SMALL LED AREA LIGHT	SINGLE	13,030 (X2)	0.900	ECF-S-32L-1A-NW-G2-5W.IES	ECF-S-32L-1A-NW-G2-AR-5W-XXX-PCB-XXX-RPA-BK
	7	W-1	10'	LUMINAIRE LED ARCHITECTURAL EGRESS SERIES LED BUILDING MOUNTED LIGHT	SINGLE	2,911	0.900	AEL36-30W-4000K.IES	AEL360CC-XXX-120-277-CP-BKH-XXX

NOTES: 1. ANY EXISTING STREET, AREA, OR BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
2. ALL PROPOSED SITE LIGHT FIXTURES ARE TO BE EQUIPPED WITH AUTOMATIC TIMERS AND A MOTION RESPONSE SYSTEM. CONTRACTOR TO COORDINATE ORDERING INFORMATION WITH MANUFACTURER.
3. ALL PROPOSED LIGHT FIXTURES ARE FULL CUTOFF.

REDEVELOPMENT PLAN REQUIREMENTS		
PER SECTION: 7.6. SITE LIGHTING & 8.3 STREETScape LIGHTING		
LOCATION	REQUIRED	PROPOSED BLOCK 4215, LOT 1 & BLOCK 106, LOT 15 (AREA A: MOB)
MAXIMUM MOUNTING HEIGHT IN STREET LIGHTING	12-14'	12' COMPLIES
MAXIMUM MOUNTING HEIGHT IN PARKING AREAS	15'	15' (COMPLIES)
MINIMUM AVERAGE IN PUBLIC REALM (PARKING & SIDEWALKS)	0.5 FC	2.45 FC (COMPLIES)
MAXIMUM AVERAGE IN PUBLIC REALM (PARKING & SIDEWALKS)	3.0 FC	2.45 FC (COMPLIES)
MAXIMUM ALONG PROPERTY LINE	0.3 FC	0.3 FC (COMPLIES)
MAXIMUM AVERAGE WITHIN DRIVEWAYS ALONG PROPERTY LINE	6.0 FC	2.40 FC (COMPLIES)

NOTE: PUBLIC REALM & PROPERTY LINE CALCULATIONS DO NOT INCLUDE CONTRIBUTION FROM PROPOSED OR EXISTING STREET LIGHTING.

LIGHTING NOTES:
(000201 - 03/12/12)

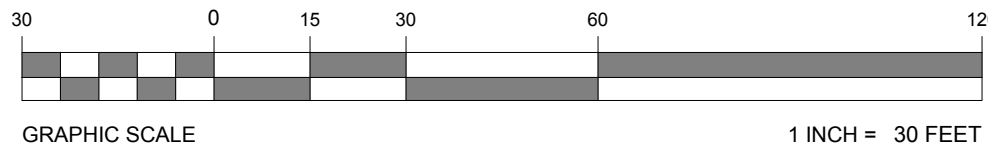
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES AND 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.

ALL PROPOSED SITE LIGHT FIXTURES ARE TO BE EQUIPPED WITH AUTOMATIC TIMERS & MOTION RESPONSE SYSTEMS

PROP. DECORATIVE STREET LIGHTS HAVE BEEN CHOSEN FROM THE PSE&G APPROVED STREET LIGHT FIXTURE LIST.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL & LIGHTING POLE SPECIFICATION



BOHLER ENGINEERING

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LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
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REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS	MB/AC

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS SPECIFICALLY NOTED OTHERWISE.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT NO.: J140578
DRAWN BY: GBUJZ
CHECKED BY: TABB
DATE: 10/27/17
SCALE: AS SHOWN
CAD ID: J140578-LGT-1A

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING

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www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24542816-1700

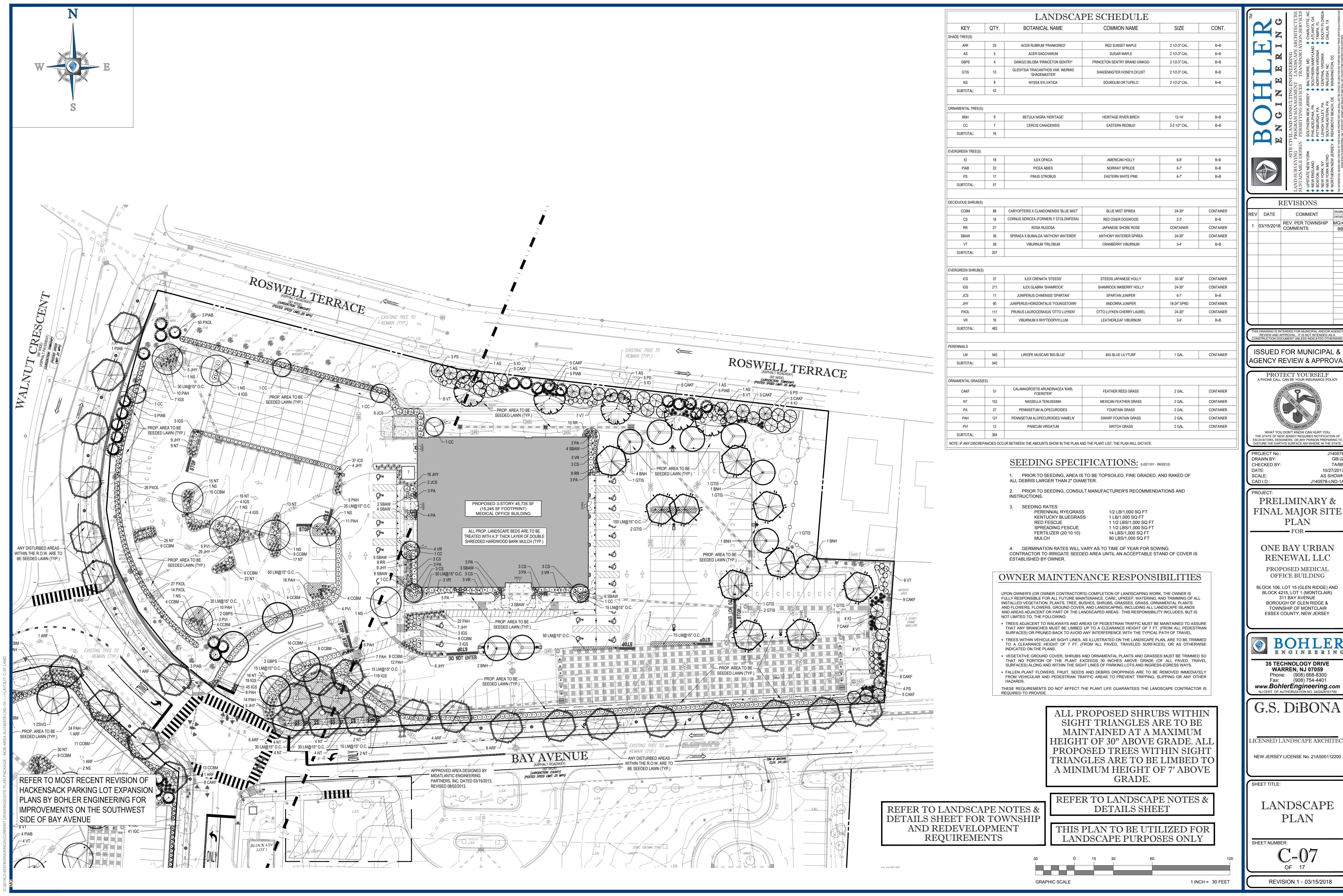
B.A. BOHLER

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 47421 NEW YORK LICENSE NO. 08814-1
DELAWARE LICENSE NO. 17111 CONNECTICUT LICENSE NO. 26039
FLORIDA LICENSE NO. 73277 PENNSYLVANIA LICENSE NO. 077366

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
C-06
OF 17

REVISION 1 - 03/15/2018



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREE(S)					
ARF	25	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2-3' CAL.	8-B
AS	5	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3' CAL.	8-B
GBPS	4	GINKGO BLOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAD GINKGO	2 1/2-3' CAL.	8-B
GTIS	10	GLEDITSIA TRIACANTHOS VAR. NERMIS SHADMASTER	SHADMASTER HONEYLOCUST	2 1/2-3' CAL.	8-B
NS	8	NYSSA SYLVATICA	SOURGUM OR TUPELO	2 1/2-3' CAL.	8-B
SUBTOTAL:					
ORNAMENTAL TREE(S)					
BNH	9	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	12-14'	8-B
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL.	8-B
SUBTOTAL:					
EVERGREEN TREE(S)					
IO	18	ILEX OPACA	AMERICAN HOLLY	6-8'	8-B
PIAB	22	PICEA ABIES	NORWAY SPRUCE	6-7'	8-B
PS	17	PINUS STROBUS	EASTERN WHITE PINE	6-7'	8-B
SUBTOTAL:					
DECIDUOUS SHRUB(S)					
CCBM	88	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SPIREA	24-30"	CONTAINER
CS	18	CORNUS SERICEA (FORMERLY STOLONIFERA)	RED OSIER DOGWOOD	2-3'	8-B
RR	27	ROSA RUOGSA	JAPANESE SHORE ROSE	CONTAINER	CONTAINER
SBW	36	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	24-30"	CONTAINER
VT	38	VIBURNUM TRILOBUM	CRANBERRY VIBURNUM	3-4'	8-B
SUBTOTAL:					
EVERGREEN SHRUB(S)					
ICS	37	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	30-36"	CONTAINER
IGS	211	ILEX GLABRA 'SHAMROCK'	SHAMROCK INBERRY HOLLY	24-30"	CONTAINER
JCS	11	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	6-7'	8-B
JHY	90	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	19-24' SPID.	CONTAINER
PXOL	117	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	CONTAINER
VR	16	VIBURNUM X RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4'	8-B
SUBTOTAL:					
PERENNIALS					
LM	540	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	1 GAL.	CONTAINER
SUBTOTAL:					
ORNAMENTAL GRASSES					
CAKF	51	CALAMAGROSTIS ARUNDINACEA KARL FORSTER	FEATHER REED GRASS	2 GAL.	CONTAINER
NT	153	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	2 GAL.	CONTAINER
PA	27	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GAL.	CONTAINER
PAH	121	PENNISETUM ALOPECUROIDES 'HAMMILL'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
PVH	12	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER
SUBTOTAL:					

- SEEDING SPECIFICATIONS:**
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
 - PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
 - SEEDING RATES:
 - PERENNIAL RYEGRASS 1/2 LB/1,000 SQ FT
 - KENTUCKY BLUEGRASS 1 LB/1,000 SQ FT
 - RED FESCUE 1 1/2 LBS/1,000 SQ FT
 - SPREADING FESCUE 1 1/2 LBS/1,000 SQ FT
 - FERTILIZER (20-10-10) 14 LBS/1,000 SQ FT
 - MULCH 90 LBS/1,000 SQ FT
 - GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

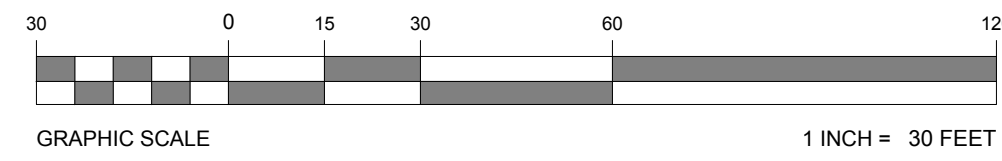
THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

ALL PROPOSED SHRUBS WITHIN SIGHT TRIANGLES ARE TO BE MAINTAINED AT A MAXIMUM HEIGHT OF 30" ABOVE GRADE. ALL PROPOSED TREES WITHIN SIGHT TRIANGLES ARE TO BE LIMBED TO A MINIMUM HEIGHT OF 7' ABOVE GRADE.

REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TOWNSHIP AND REDEVELOPMENT REQUIREMENTS

REFER TO LANDSCAPE NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS	MICHAEL BB

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT NO.: J140578
DRAWN BY: GB/JZ
CHECKED BY: TA/BB
DATE: 10/27/2017
SCALE: AS SHOWN
CAD I.D.: J140578-LND-1A

PRELIMINARY & FINAL MAJOR SITE PLAN
FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING

BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING

35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 688-8300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 245A28161700

G.S. DiBONA

LICENSED LANDSCAPE ARCHITECT

NEW JERSEY LICENSE NO. 21AS00112200

SHEET TITLE:

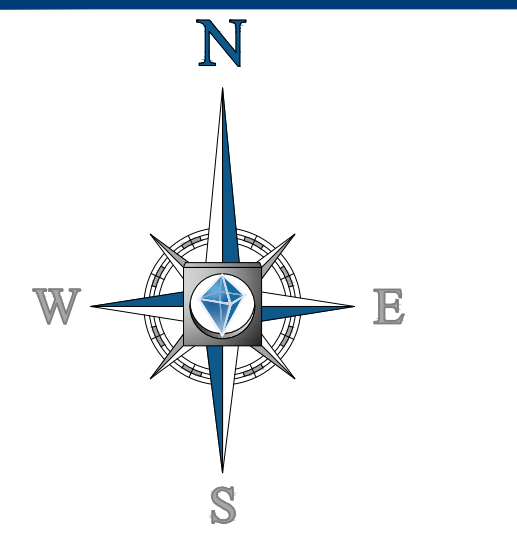
LANDSCAPE PLAN

SHEET NUMBER:

C-07
OF 17

REVISION 1 - 03/15/2018

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STABILIZATION SPECIFICATIONS PERMANENT SEEDING: (SITE SPECIFIC)

- PERMANENT STABILIZATION SPECIFICATIONS:
 - MULCHING
 - A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

- UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 800 TO 1,200 GAL/ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
- MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
- MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

SOIL TYPE

- USBOOB - URBAN LAND, BOONTON SUBSTRATUM - BOONTON COMPLEX, RED SANDSTONE LOWLAND, 0 TO 8 PERCENT SLOPES
- URBOOB - URBAN LAND, BOONTON SUBSTRATUM, 0 TO 8 PERCENT SLOPES, RED SANDSTONE LOWLAND

SWPPP NOTES: (3/2015)

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

HUDSON-ESSEX-PASSAIC COUNTY SCD NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL 7TH EDITION LAST REVISED JANUARY 2014. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4506 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PLUMBED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 4". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

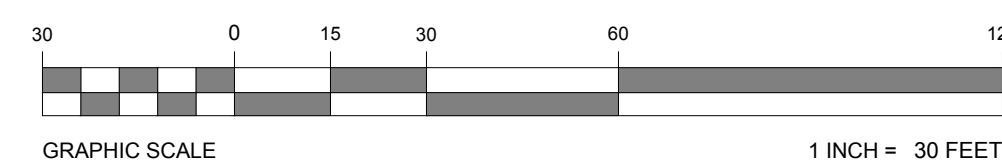
SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI - TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING. (3 DAY)
- PHASE 2: DEMOLISH BUILDING AREA & CONCRETE STRUCTURES. (14 DAYS)
- PHASE 3: CLEAR AND ROUGH GRADE FOR NEW PARKING LOT AND OTHER AREA REQUIRING EXCAVATION. (5 DAYS)
- PHASE 4: EXCAVATE FOR UNDERGROUND BASIN INSTALLATION & RETAINING WALL. (20 DAYS)
- PHASE 5: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND UTILITIES, ETC. (60 DAYS)
- PHASE 6: FINAL GRADING ON SITE. (5 DAYS)
- PHASE 7: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (30 DAYS)

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

- LIME
 - 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS
 - COOL SEASON:
 - PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - WARM SEASON:
 - PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH
 - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

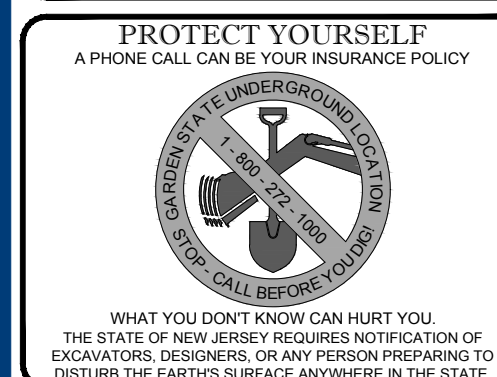
THIS PLAN TO BE UTILIZED FOR
SOIL EROSION AND SEDIMENT
CONTROL PURPOSES ONLY



REVISIONS				DRAWN BY	
REV	DATE	COMMENT		BY	DATE
1	03/15/2018	REV. PER TOWNSHIP COMMENTS		MBAC	BB

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL



PROJECT No.: J140578
DRAWN BY: GB/JZ
CHECKED BY: TA/BB
DATE: 10/27/2017
SCALE: AS SHOWN
CAD I.D.: J140578-SPP-1A

PROJECT:
PRELIMINARY & FINAL MAJOR SITE PLAN
FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 688-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 245428181700

B.A. BOHLER

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NO. 47421 NEW YORK LICENSE NO. 59814-1
DELAWARE LICENSE NO. 17111 CONNECTICUT LICENSE NO. 26039
FLORIDA LICENSE NO. 73277 PENNSYLVANIA LICENSE NO. 077366

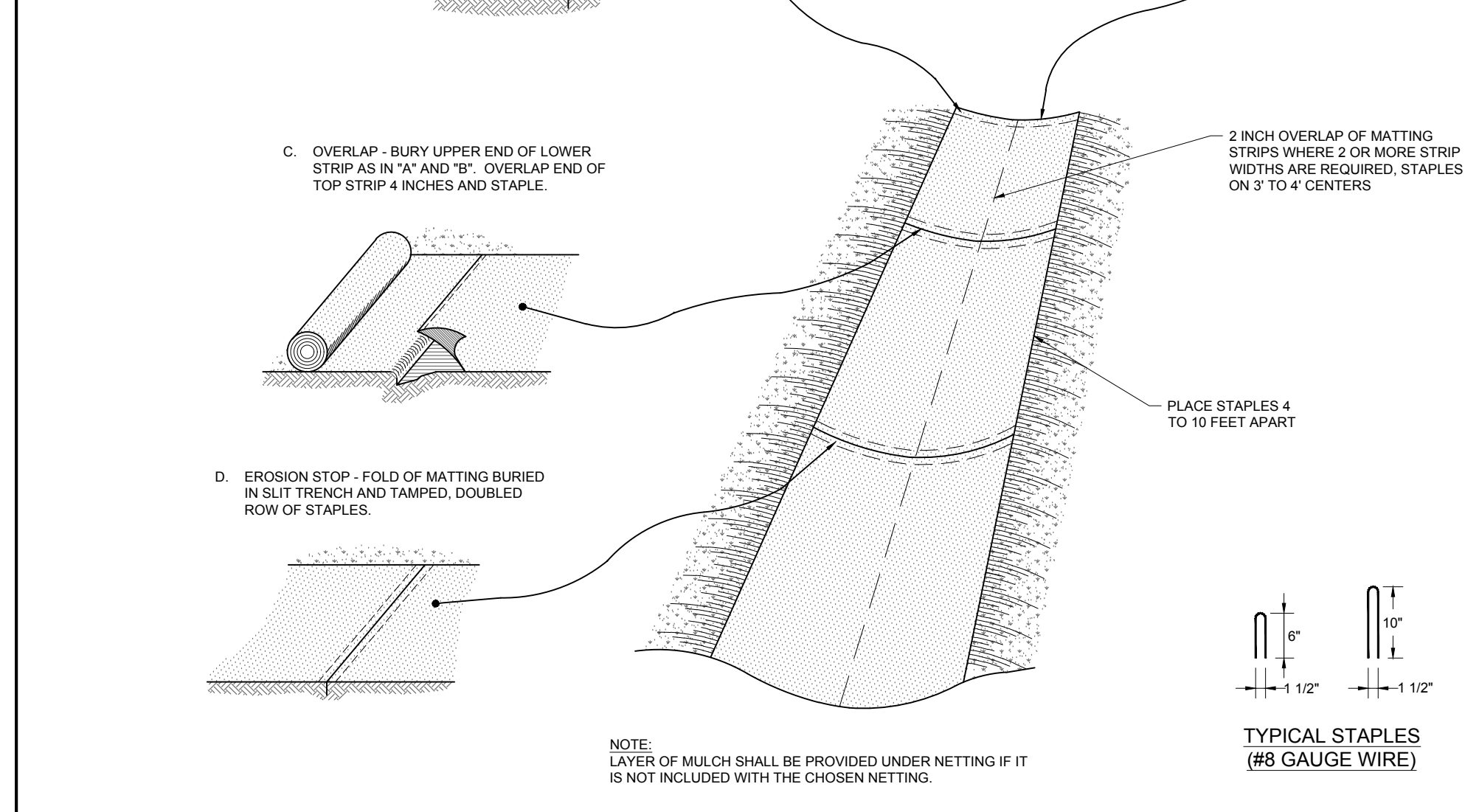
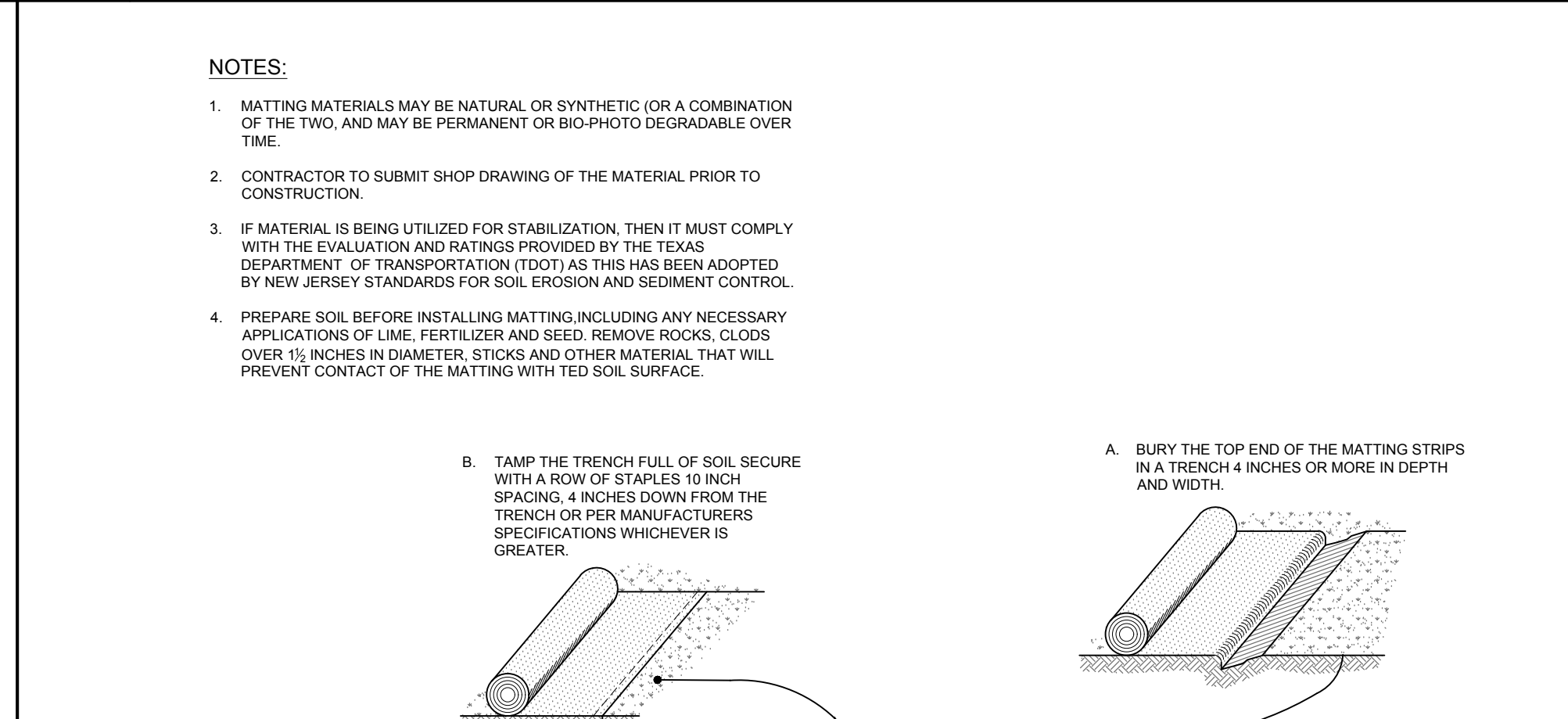
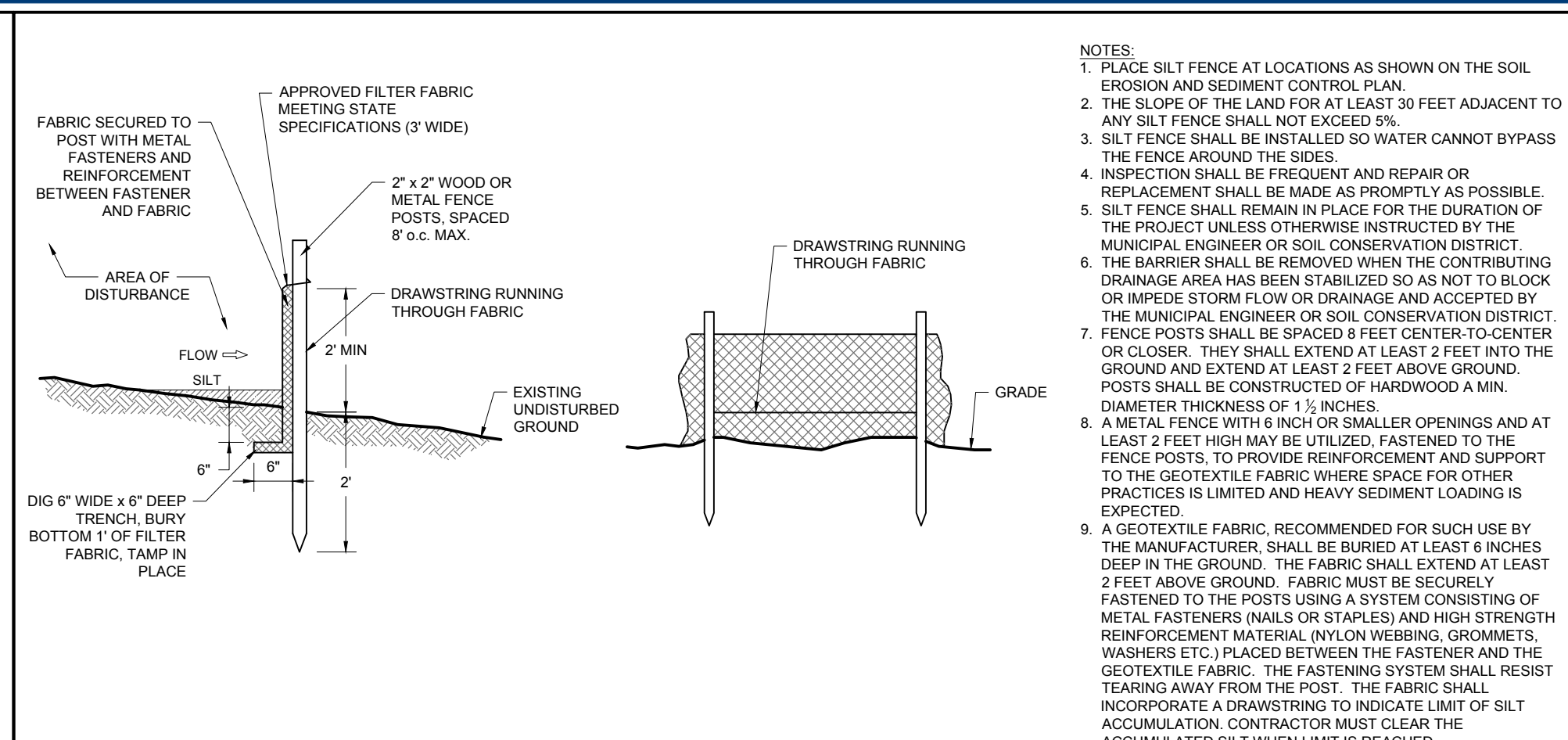
SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

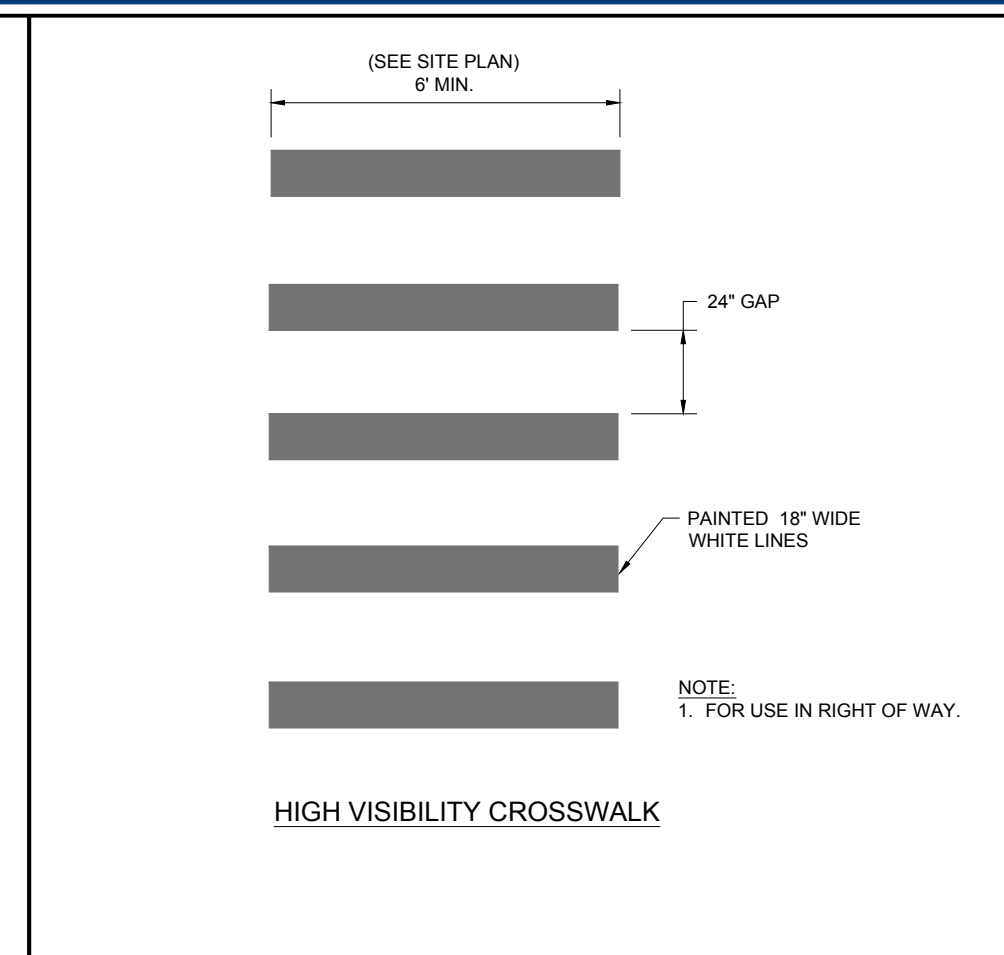
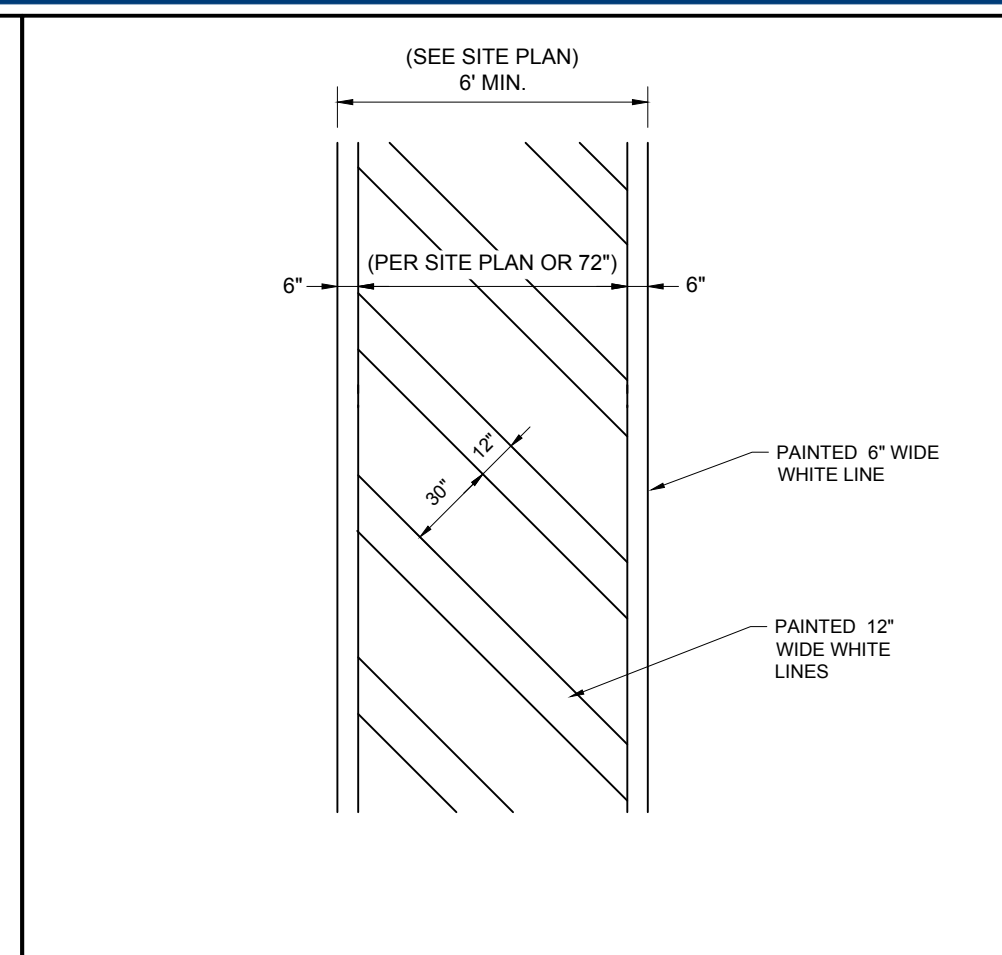
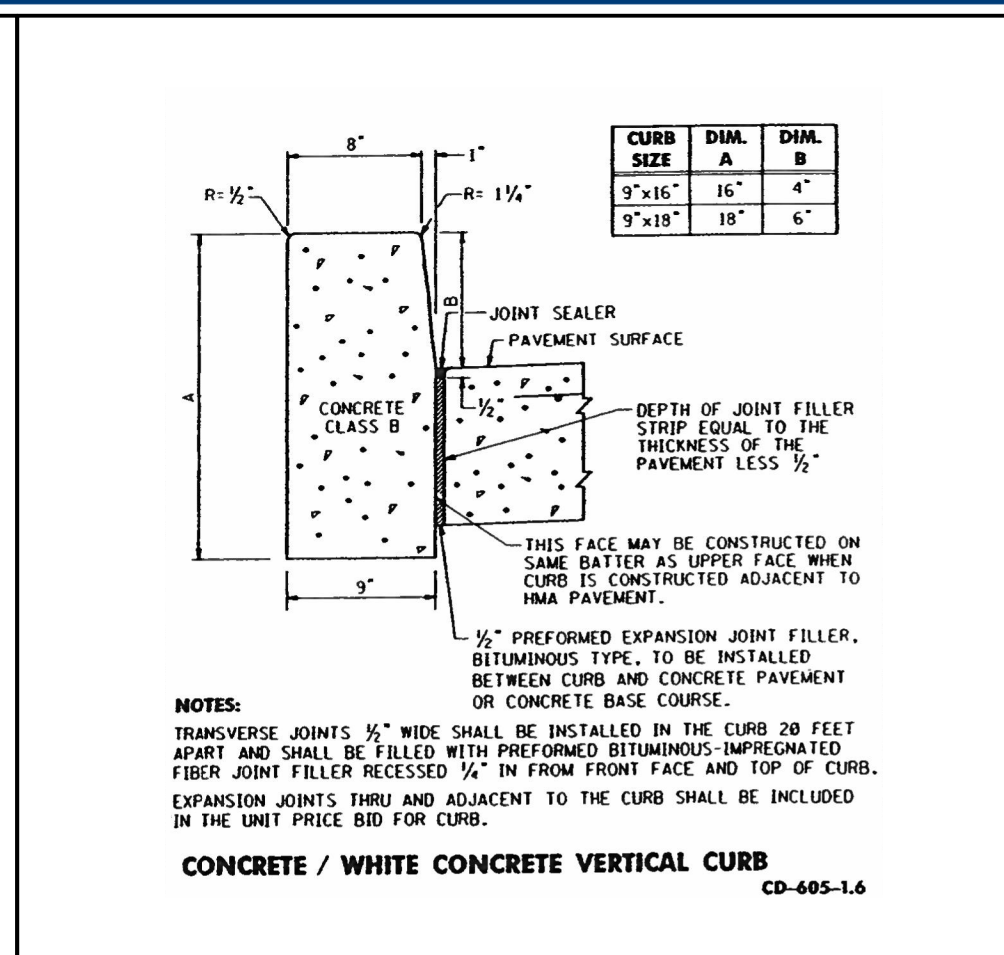
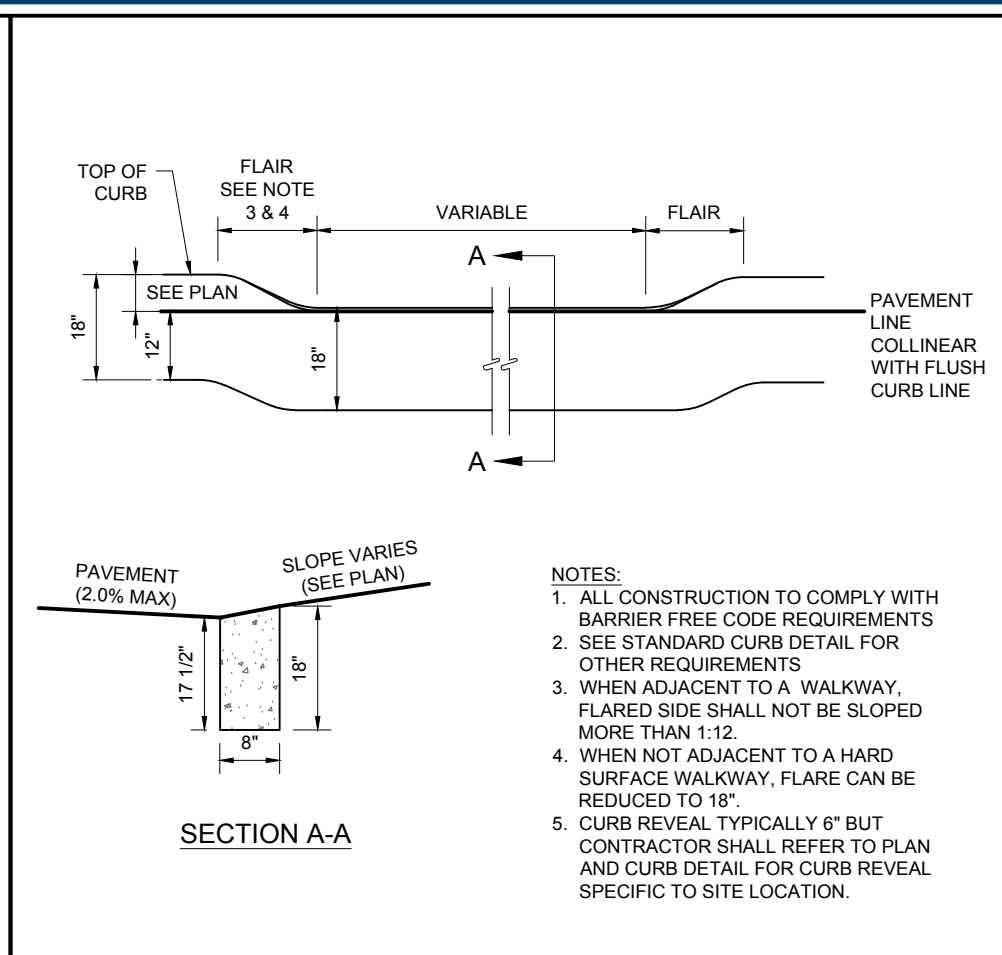
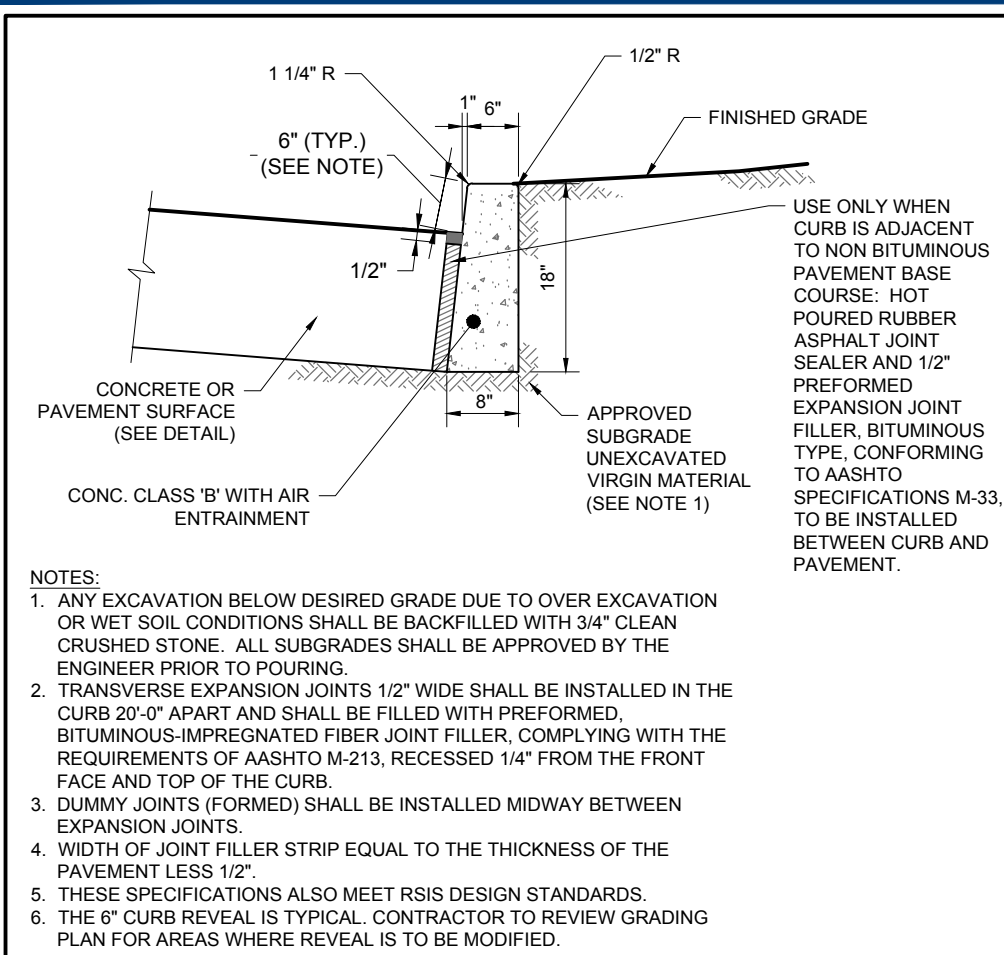
SHEET NUMBER:

C-09
OF 17

REVISION 1 - 03/15/2018



		BOHLERTM ENGINEERING	
SITE CIVIL AND CONSULTING ENGINEERS LAND SURVEYING PROGRAMS MANAGER SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION ARCHITECTURE URBAN PLANNING & DEVELOPMENT			
OFFICES: NEW YORK JERSEY BALTIMORE, MD CHARLOTTE, NC PHILADELPHIA, PA SOUTHERN MARLAND ATLANTA, GA NEW ENGLAND WASHINGTON, DC RICHMOND, VA NEW YORK, NY LEHIGH VALLEY, PA CENTRAL VIRGINIA NEW YORK, NY SOUTH EASTERN PA RALEIGH, NC NORTHERN NEW JERSEY REDBOTHAM BEACH, DE WASHINGTON, DC DALLAS, TX			
THE INFORMATION ON THIS DRAWING IS PREPARED BY OR FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING.			
REVISIONS			
REV.	DATE	COMMENT	DRAWN BY / CHECKED BY
1	03/15/2018	REV. PER TOWNSHIP COMMENTS	MSG/A BB
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PROTECT YOURSELF <small>A PHONE CALL CAN SAVE YOUR INSURANCE POLICY</small>			
 <p style="text-align: center; font-size: x-small;">WHAT YOU DON'T KNOW CAN HURT YOU! THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXISTING UTILITIES BEFORE ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.</p>			
PROJECT No.: DRAWN BY: CHECKED BY: DATE: SCALE: CAD I.D.:		J140578 GBJUZ TAB/BB 10/27/2017 AS SHOWN J140578-CD5-1A	
PROJECT: <h2 style="margin: 0;">PRELIMINARY & FINAL MAJOR SITE PLAN</h2> FOR			
<h2 style="margin: 0;">ONE BAY URBAN RENEWAL LLC</h2> <h3 style="margin: 0;">PROPOSED MEDICAL OFFICE BUILDING</h3>			
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR) 311 BAY AVENUE BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY			
BOHLERTM ENGINEERING			
35 TECHNOLOGY DRIVE WARREN, NJ 07059 Phone: (908) 658-8300 Fax: (908) 754-4401 www.BohlerEngineering.com <small>NJ CERT. OF AUTHORIZATION NO. 24AG28161700</small>			
<h1 style="margin: 0;">B.A. BOHLER</h1>			
<h3 style="margin: 0;">PROFESSIONAL ENGINEER</h3>			
NEW JERSEY LICENSE NO. 47421 DELAWARE LICENSE NO. 17111 FLORIDA LICENSE NO. 73277		NEW YORK LICENSE NO. 068514-1 CONNECTICUT LICENSE NO. 26039 PENNSYLVANIA LICENSE NO. 077396	
SHEET TITLE: <h2 style="margin: 0;">SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET</h2>			
SHEET NUMBER: <h1 style="margin: 0;">C-10</h1> OF 17			
REVISION 1 - 03/15/2018			



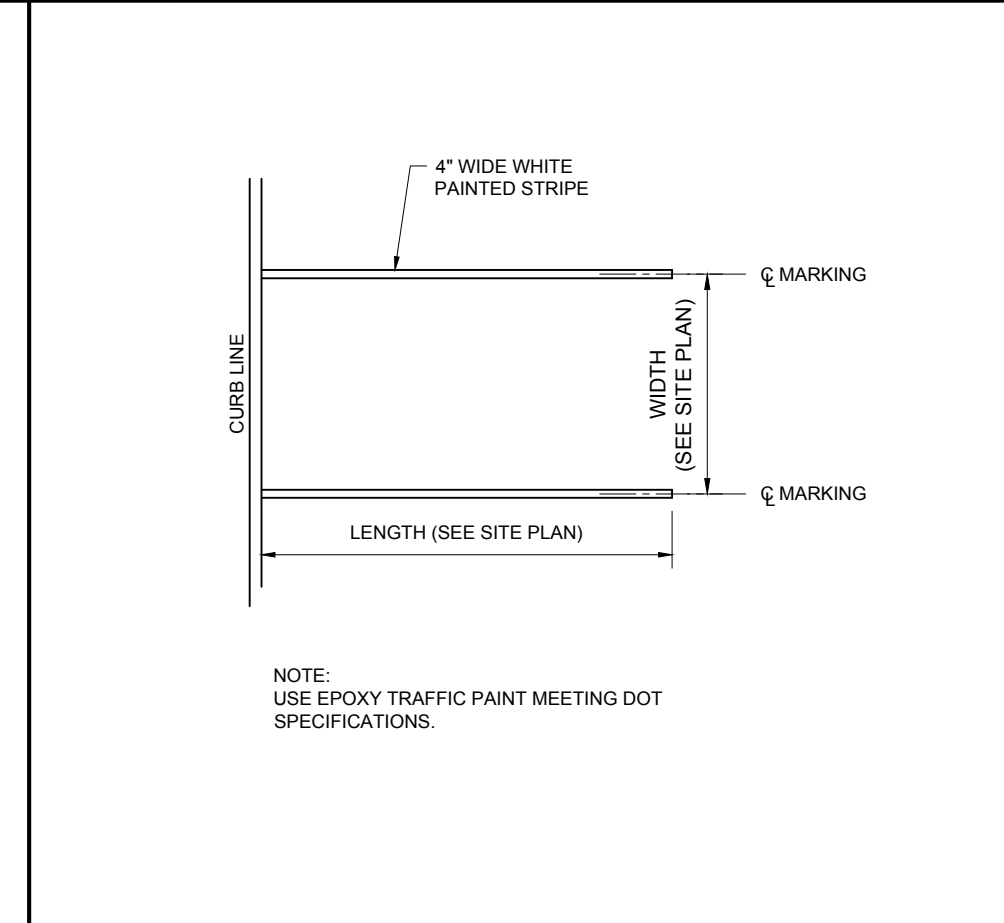
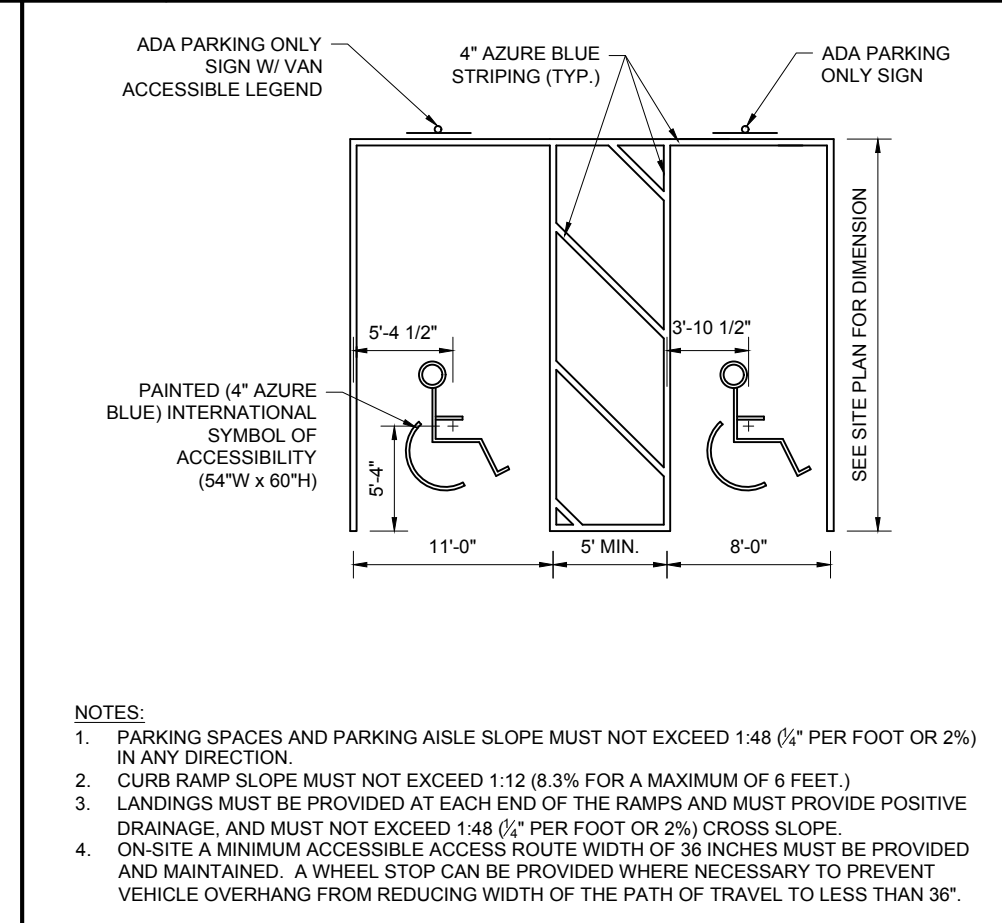
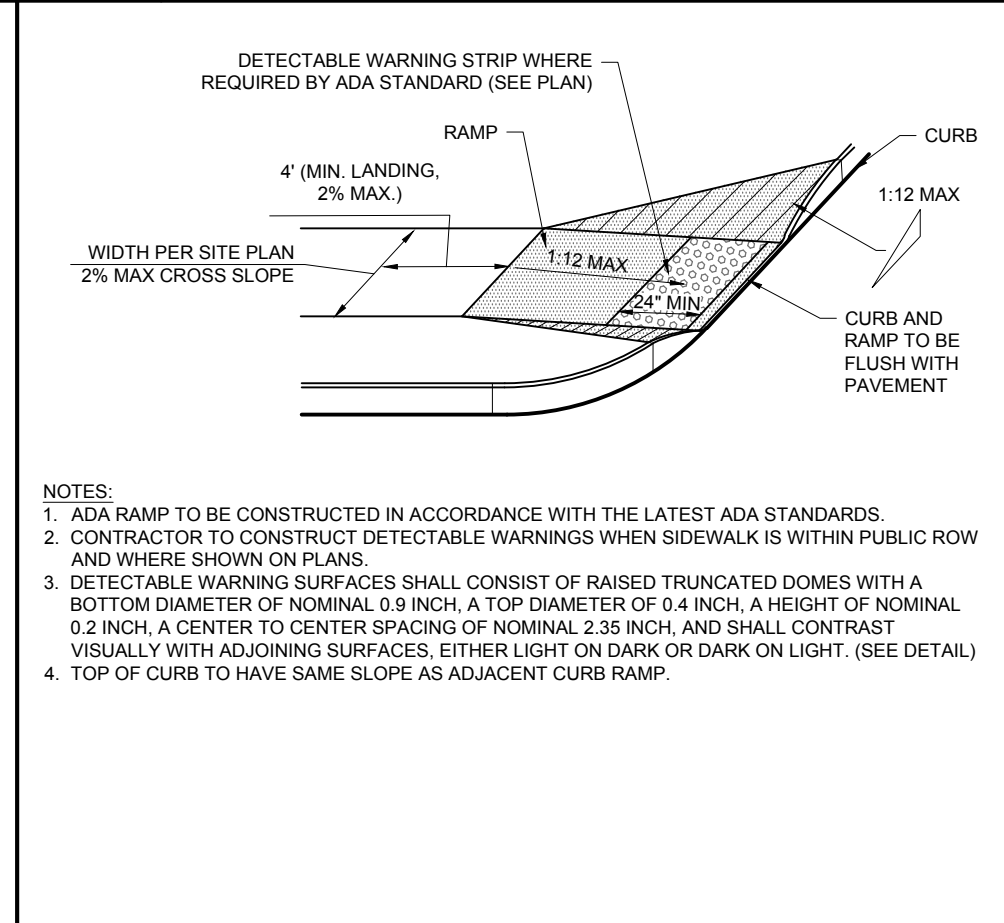
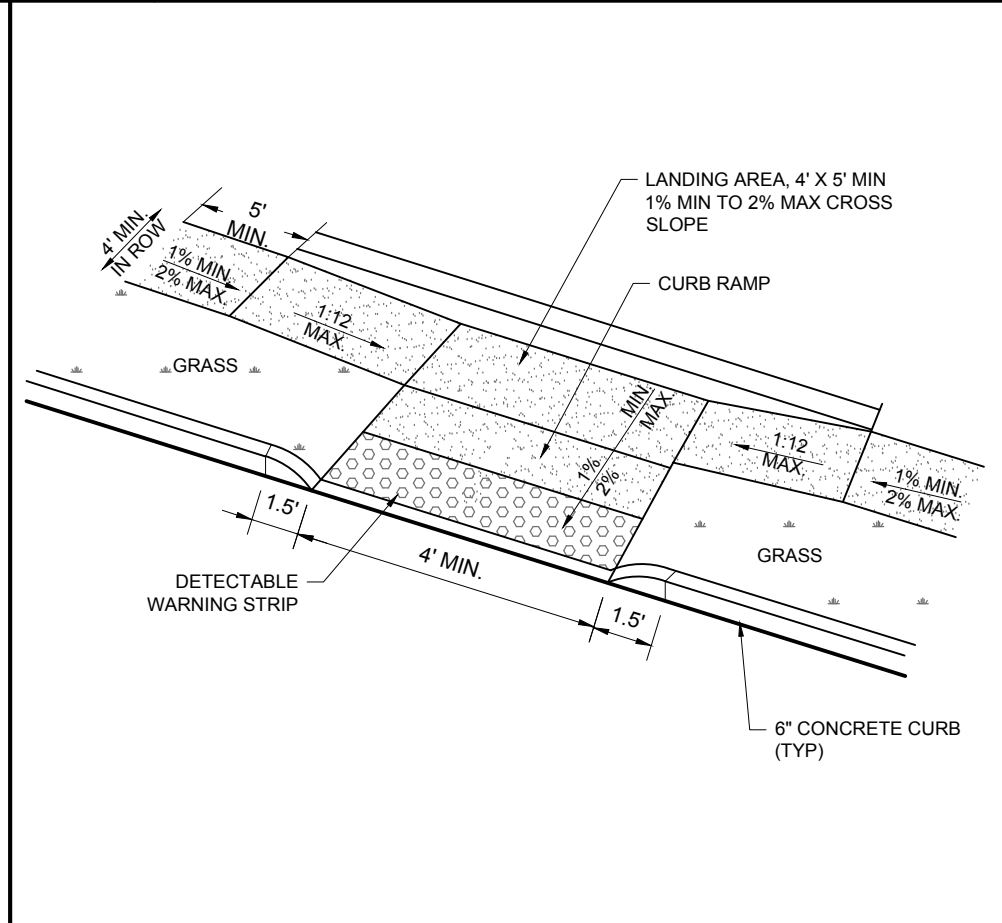
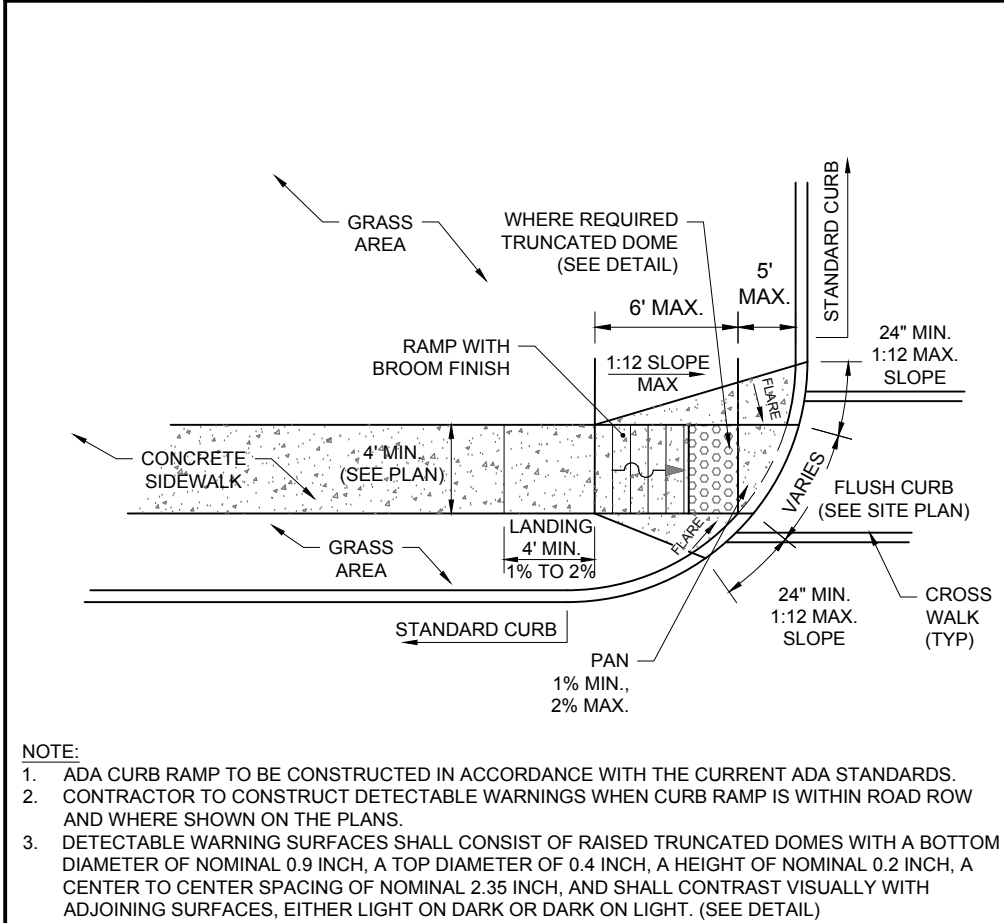
1 CONCRETE CURB 6" REVEAL DETAIL
NOT TO SCALE (S030202-01/2013)

2 ADA FLUSH CURB DETAIL
NOT TO SCALE (S039904-01/2013)

3 COUNTY CONCRETE CURB DETAIL
NOT TO SCALE (SOURCE: ESSEX COUNTY)

4 PAINTED CROSSWALK DETAIL (ON-SITE)
NOT TO SCALE (S080601-08/2016) (MODIFIED)

5 PAINTED BLOCKED CROSSWALK DETAIL
NOT TO SCALE (S080601-01-01/2013) (MODIFIED)



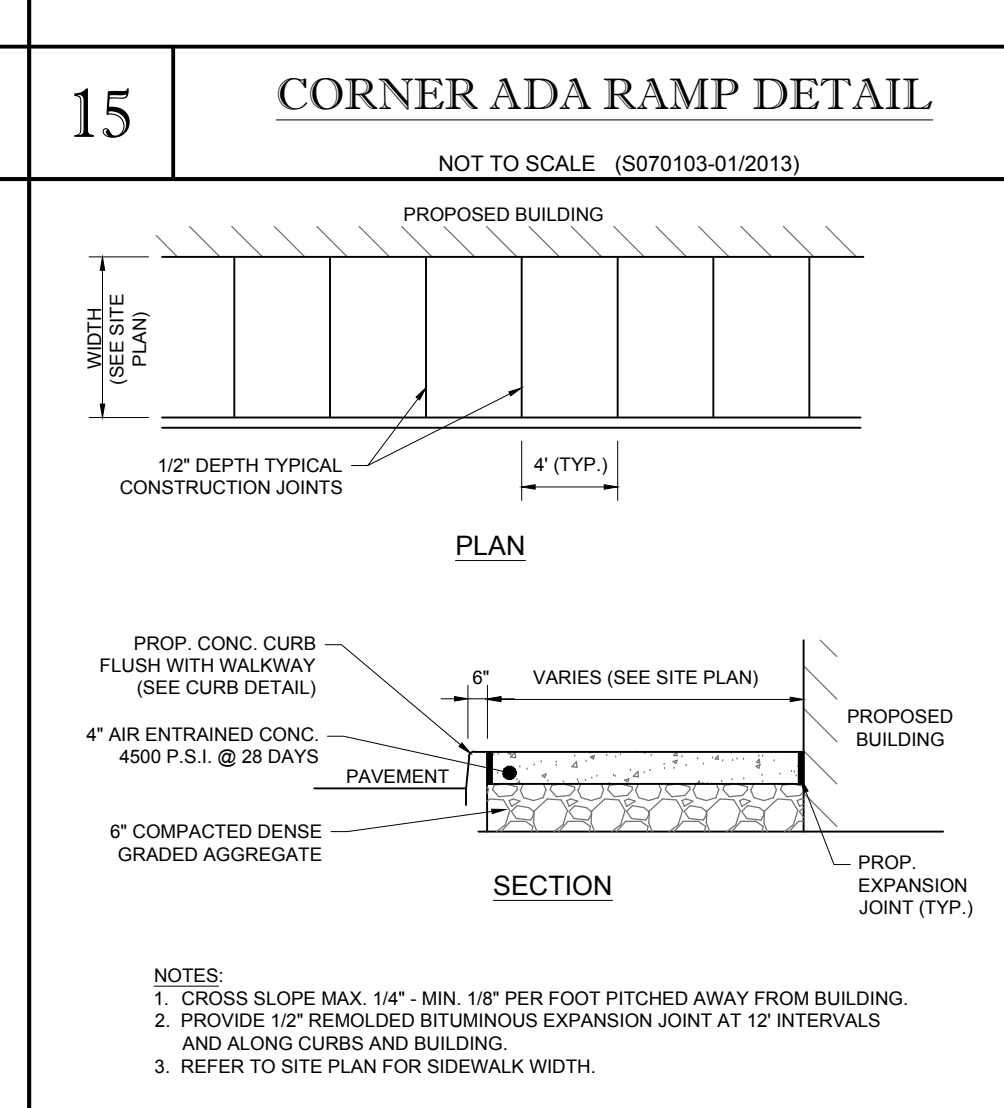
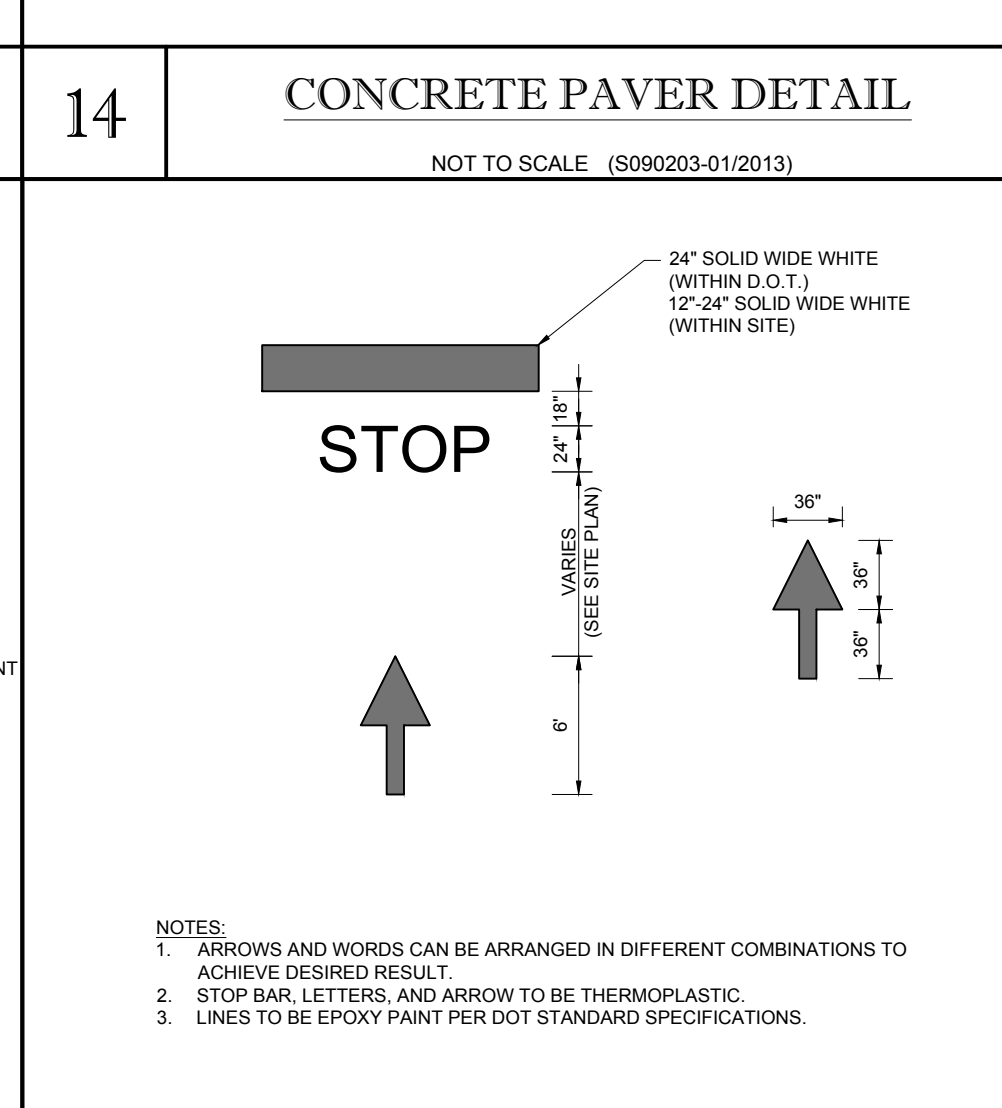
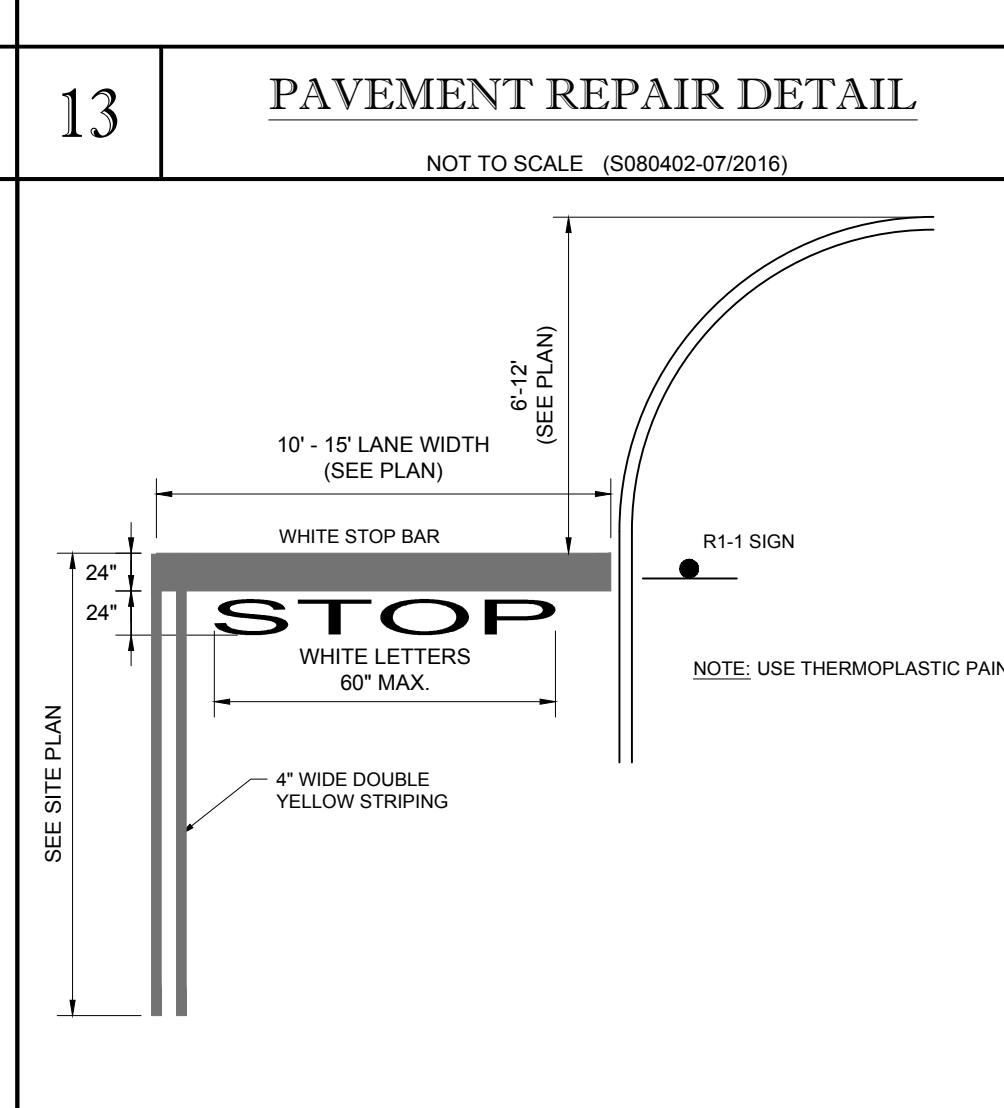
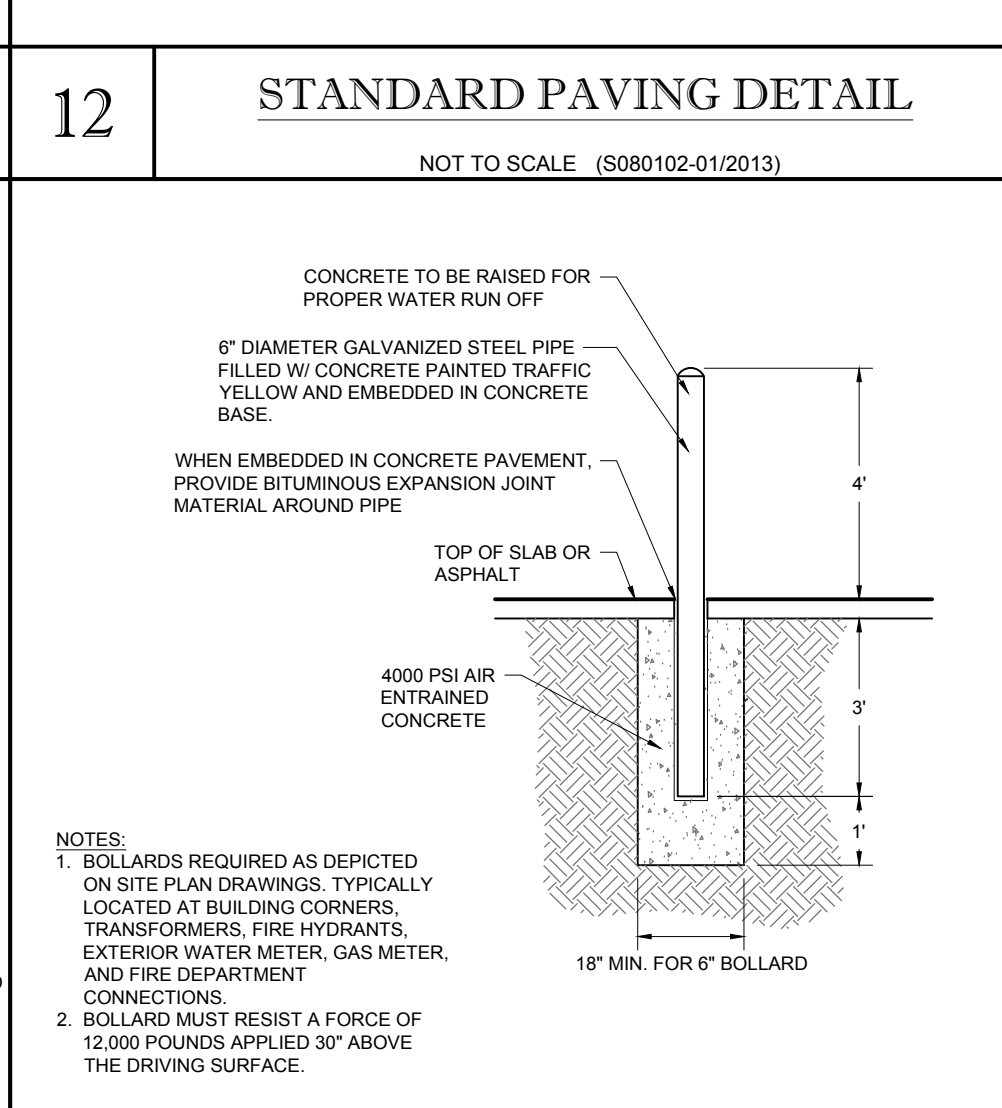
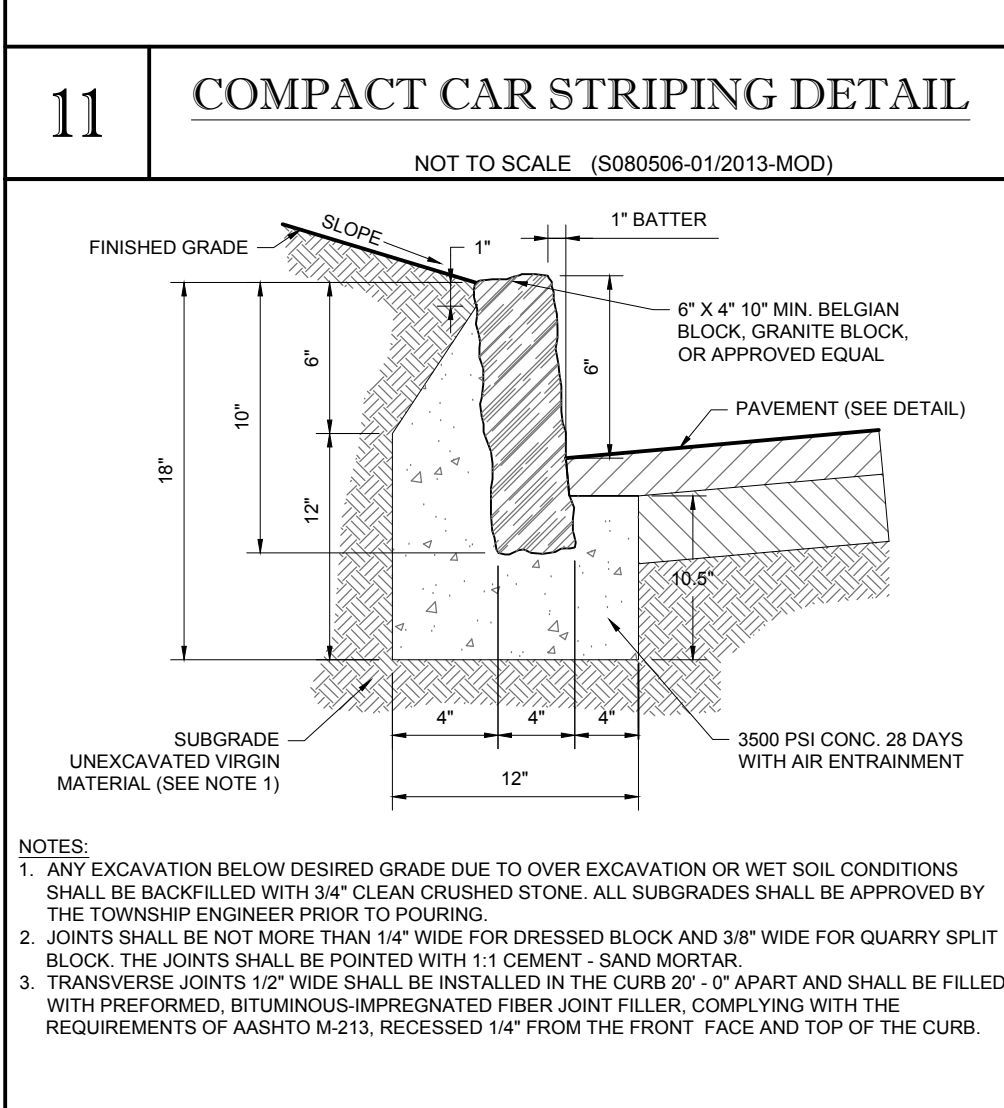
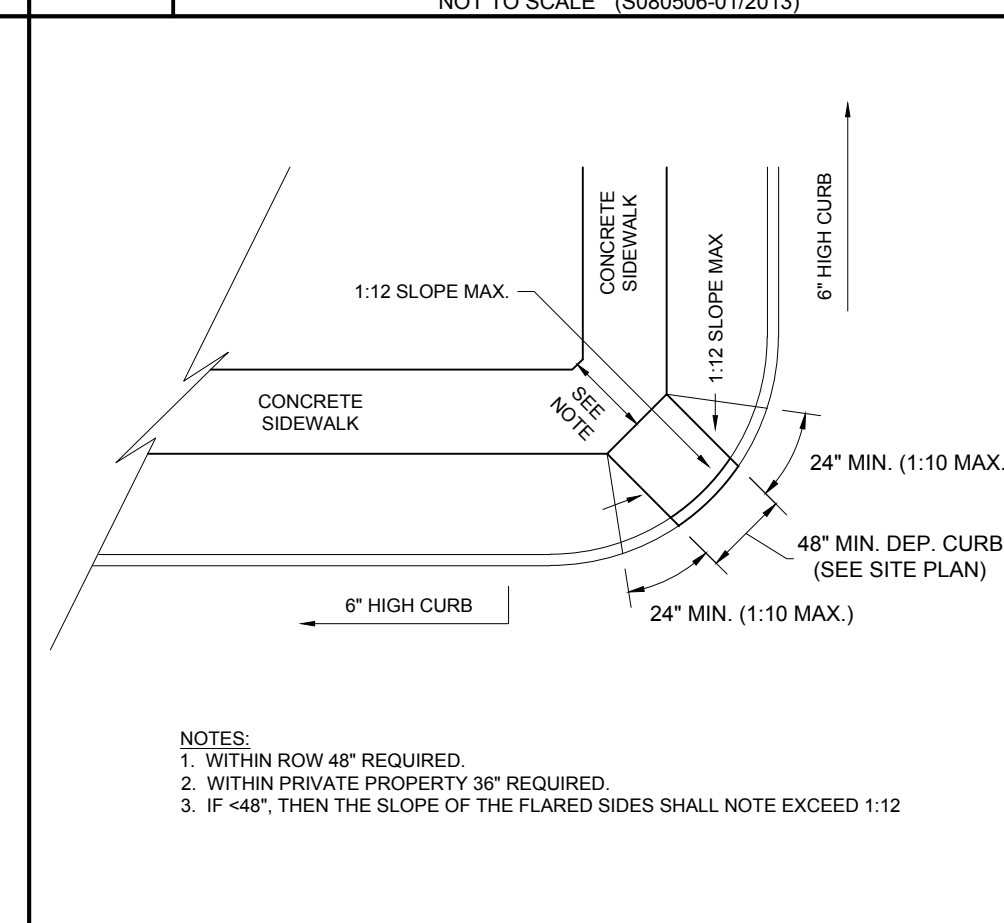
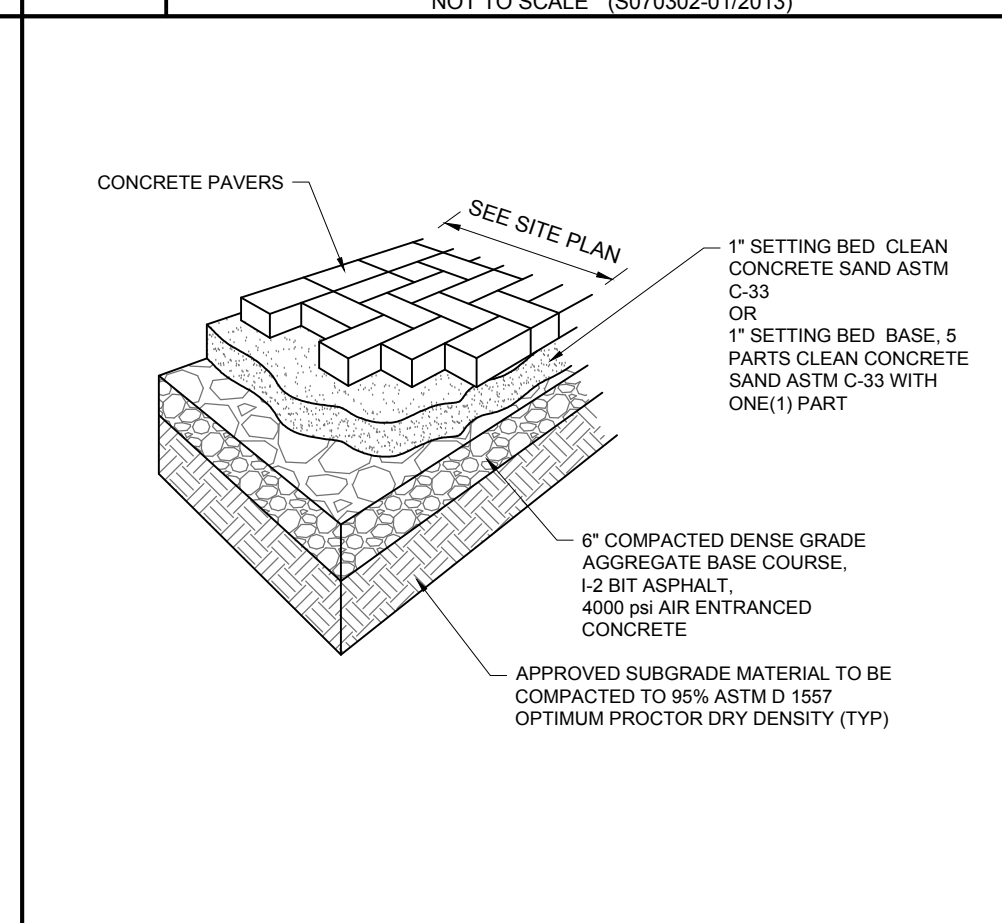
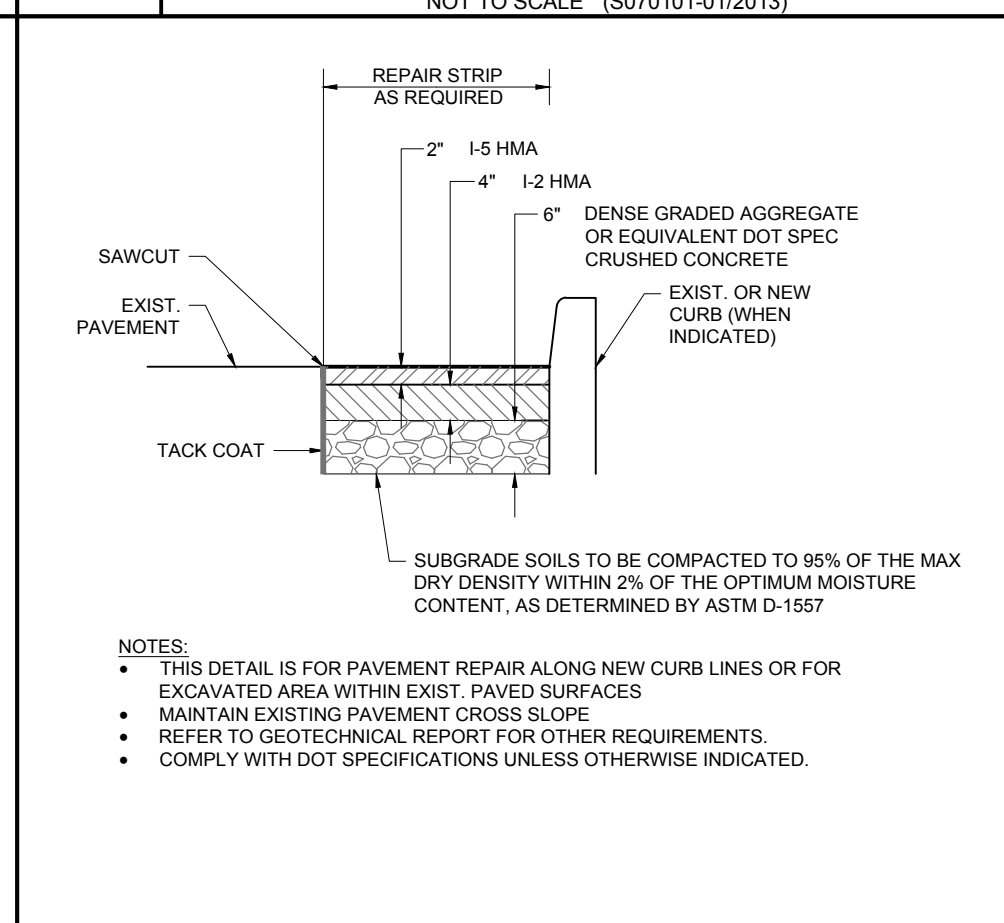
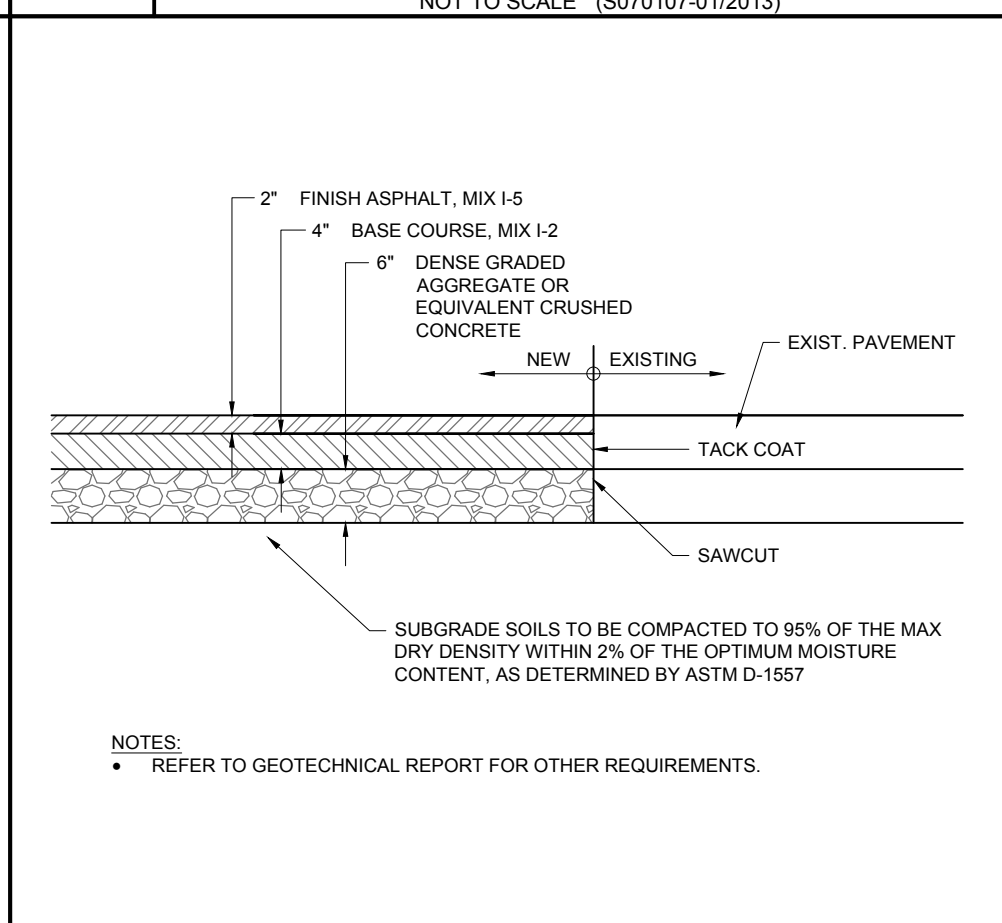
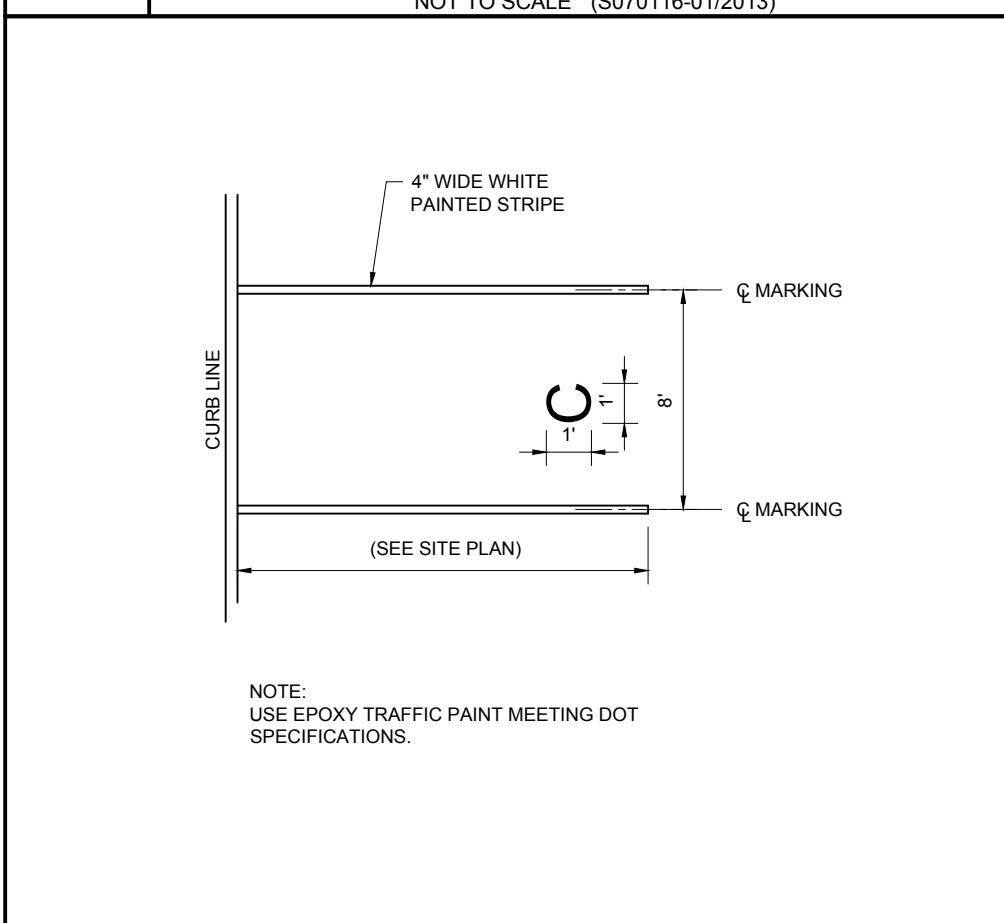
6 ADA CURB RAMP TO ROAD CROSSWALK DETAIL
NOT TO SCALE (S070116-01/2013)

7 ADA RAMP ACROSS GRASS BUFFER STRIP w/ CURB DETAIL
NOT TO SCALE (S070101-01/2013)

8 ADA CURB RAMP DETAIL
NOT TO SCALE (S070101-01/2013)

9 ADA PARKING STALL MARKING DETAIL
NOT TO SCALE (S070302-01/2013)

10 STANDARD STRIPING DETAIL
NOT TO SCALE (S080506-01/2013)



GENERAL NOTES:

(S00003 - 10/2015)

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "ALTA/CS/LAND TITLE SURVEY" - MOUNTAINSIDE HOSPITAL MEDICAL OFFICE BLDG - PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 02/25/2016, LAST REVISED 01/17/2016.
- "BOUNDARY & TOPOGRAPHIC SURVEY" - MOUNTAINSIDE HOSPITAL MEDICAL OFFICE BLDG - PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 02/26/2016.
- "STORMWATER MANAGEMENT REPORT" PREPARED BY BOHLER ENGINEERING, DATED OCTOBER 2017, REVISED MARCH 15, 2018.
- "TRAFFIC SIGNAL WARRANT ANALYSIS" BY ATLANTIC TRAFFIC AND DESIGN ENGINEERS, DATED 04/10/2017, REVISED 03/15/2018.
- "TRAFFIC IMPACT ANALYSIS" BY ATLANTIC TRAFFIC AND DESIGN ENGINEERS, DATED 03/15/2018.
- "TRAFFIC SIGNAL PLAN" PREPARED BY ATLANTIC TRAFFIC AND DESIGN ENGINEERS, DATED 05/05/2017, REVISED 03/15/2018.
- "PRELIMINARY GEOTECHNICAL INVESTIGATION & STORMWATER MANAGEMENT AREA EVALUATION" PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 03/05/2015.
- "PRELIMINARY & FINAL MAJOR SITE PLAN FOR ONE BAY URBAN RENEWAL LLC" PREPARED BY NK ARCHITECTS, LAST REVISED 1/31/2018.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HSHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

2. ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.)) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THE PROPERTY SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. AND DATED 07/11/2017 SHALL BE CONSIDERED A PART OF THESE PLANS.

8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

14. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH THE APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

16. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

18. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

19. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

20. BOHLER ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

21. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

22. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

23. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTORS PRICE.

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
URBAN DESIGN PLANNING SERVICES

CHARLOTTE, NC
CHICAGO, IL
COLUMBIA, SC
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
KANSAS CITY, MO
LOS ANGELES, CA
MEMPHIS, TN
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
PORTLAND, OR
SAN ANTONIO, TX
SAN JOSE, CA
SEATTLE, WA
SPRINGFIELD, IL
TAMPA, FL
TULSA, OK
WASHINGTON, DC

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PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

WHAT YOU DON'T KNOW CAN HURT YOU.
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATIONS, REVISIONS OR ANY PERSON PREPARING OR DISTURBS THE EARTH'S SURFACE ANYWHERE IN THE STATE.

PROJECT No.: J140578
DRAWN BY: GBUJZ
CHECKED BY: TABBB
DATE: 10/27/2017
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ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING

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BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
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DELAWARE LICENSE NO. 17111 CONNECTICUT LICENSE NO. 26039
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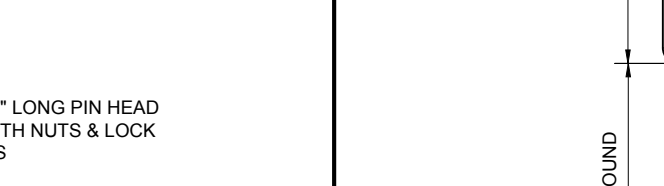
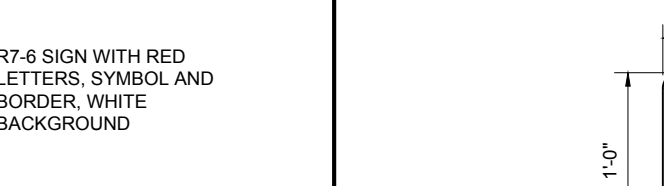
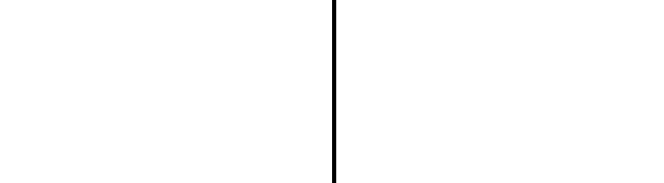
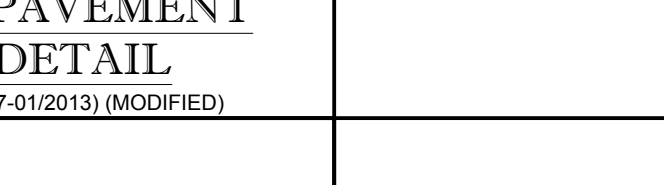
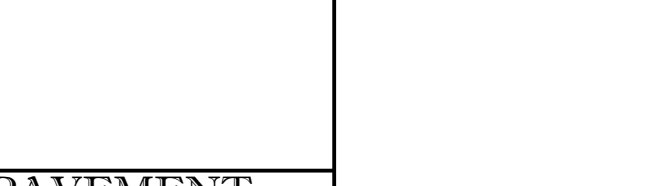
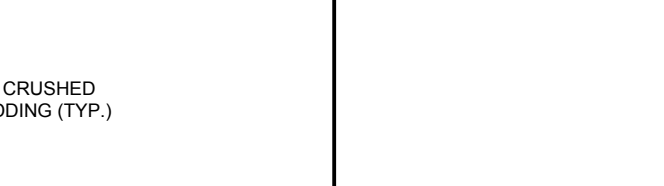
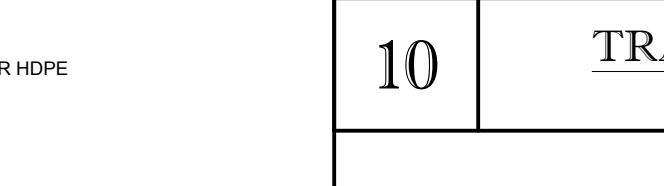
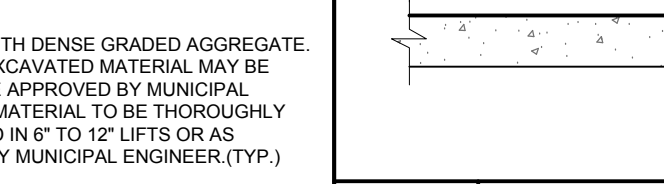
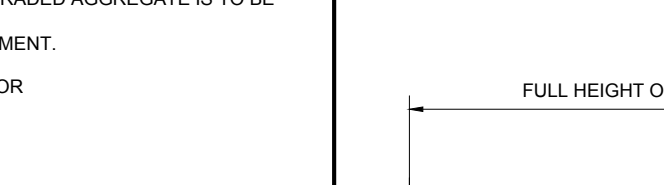
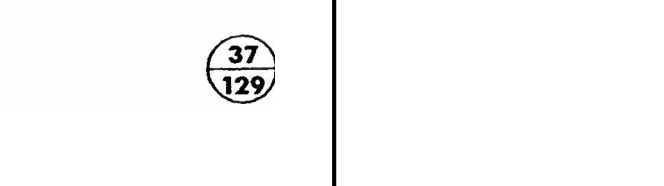
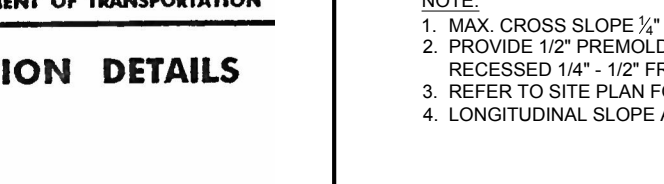
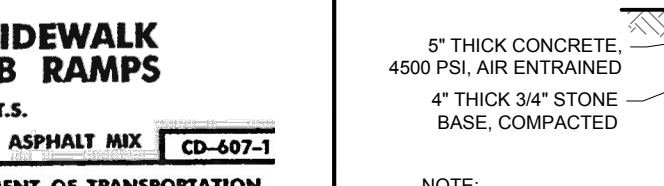
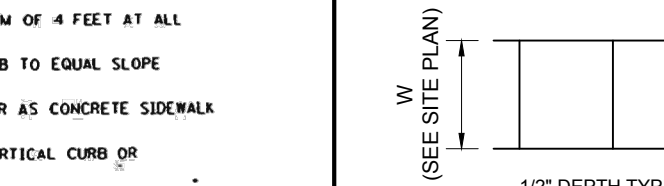
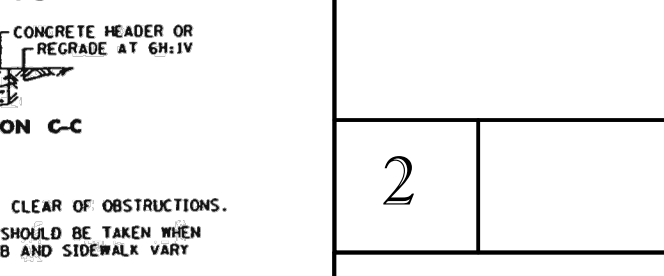
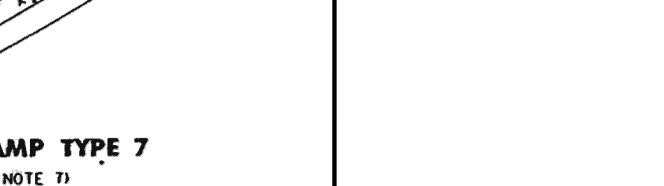
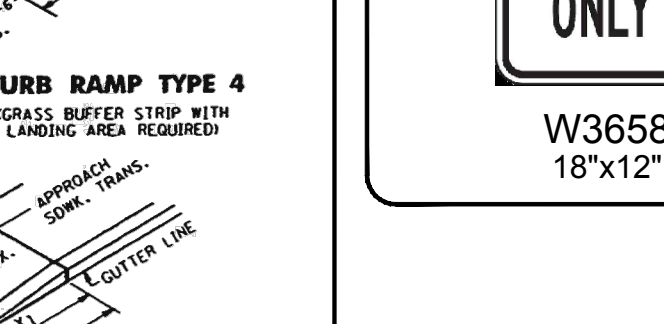
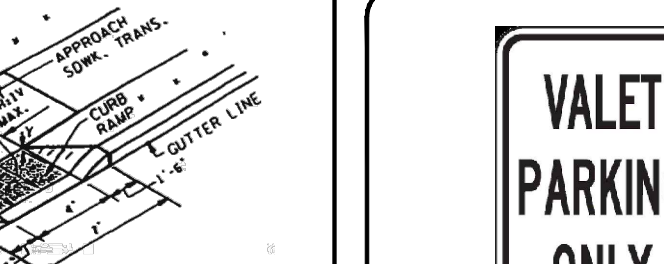
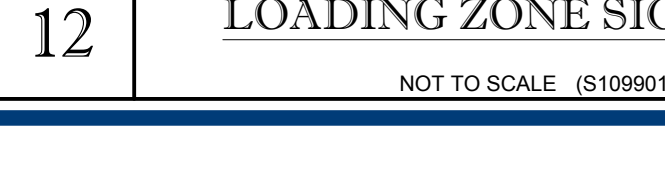
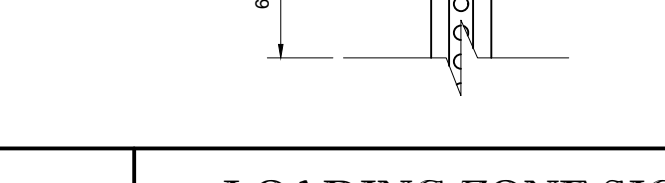
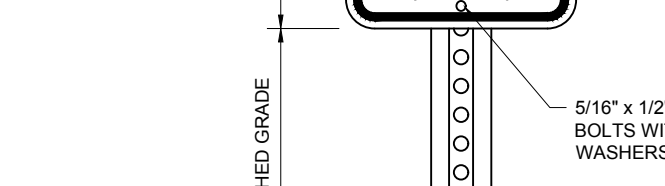
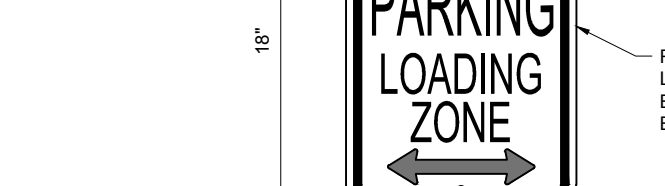
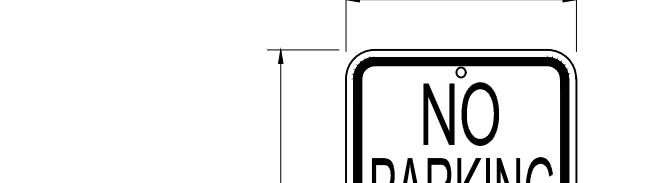
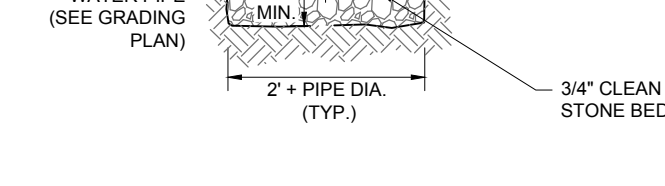
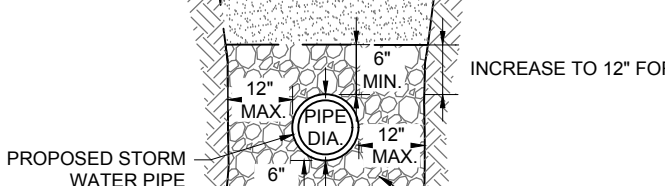
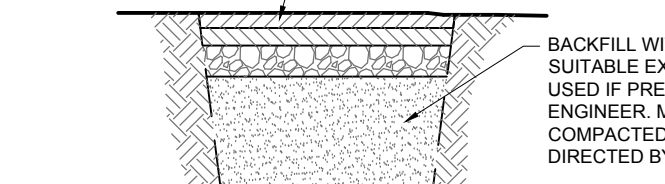
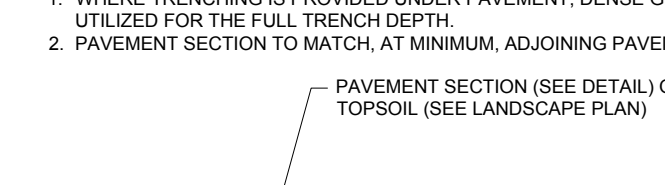
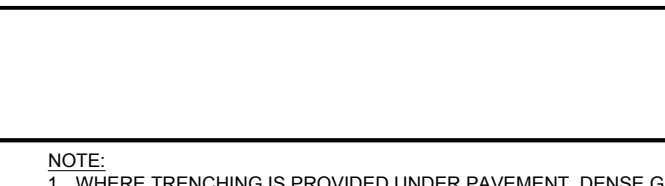
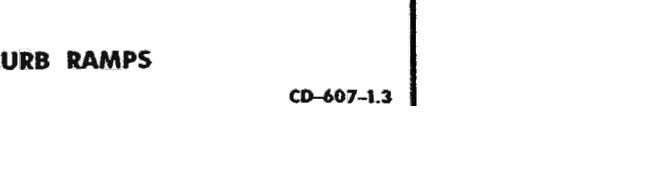
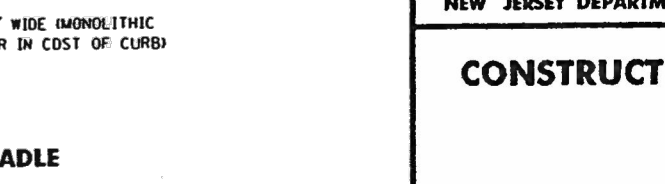
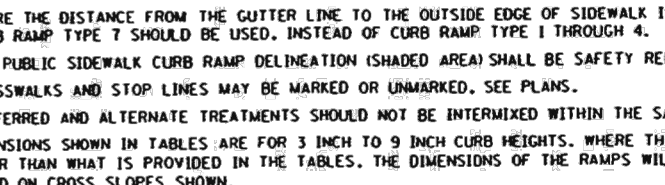
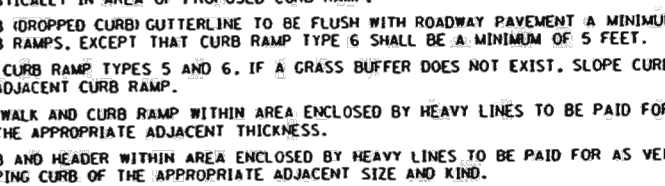
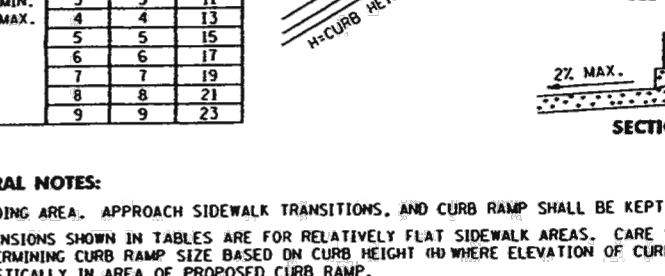
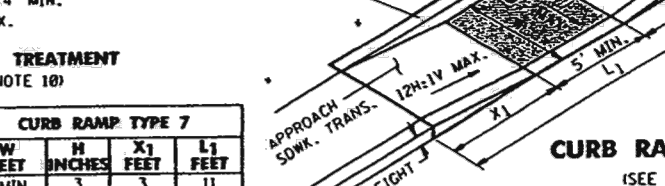
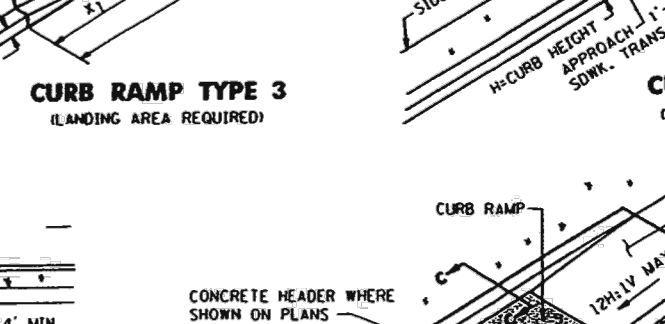
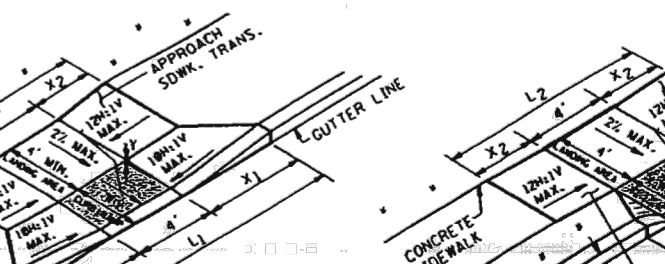
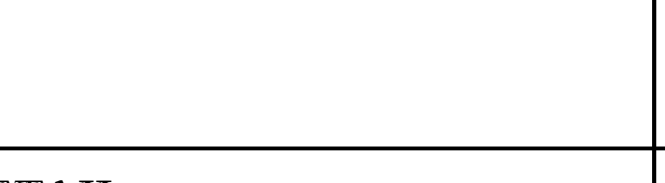
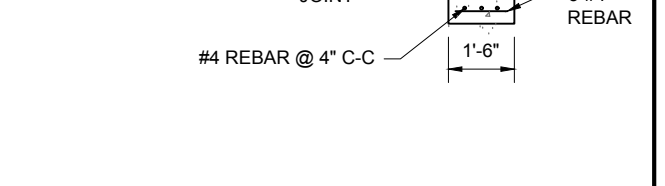
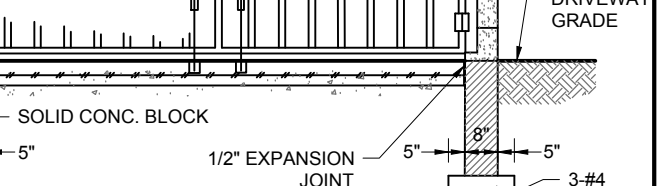
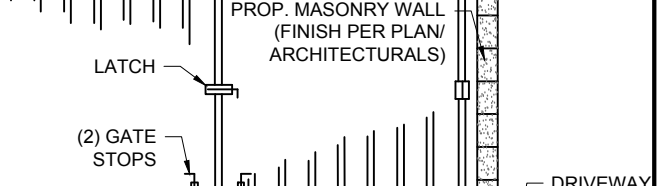
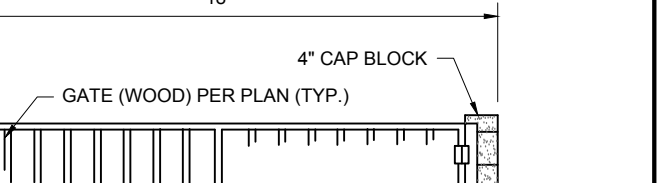
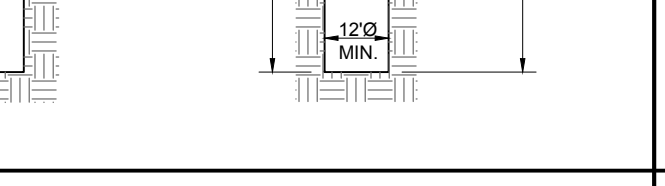
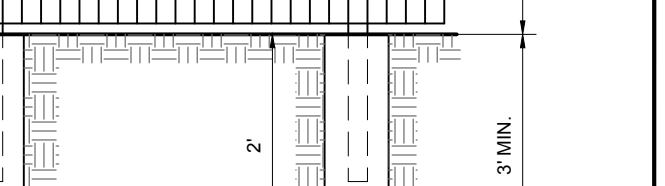
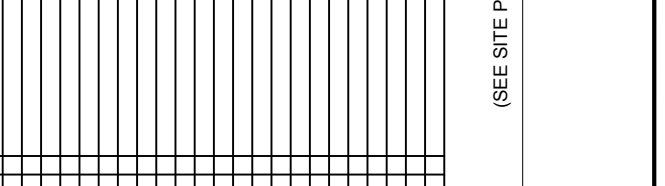
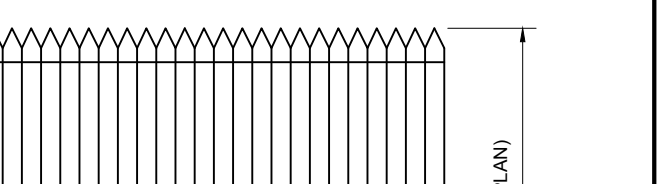
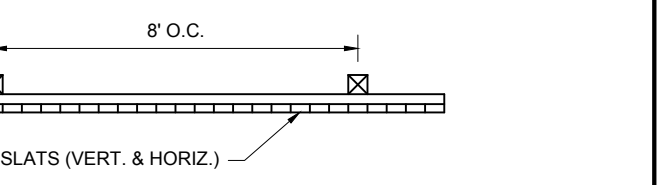
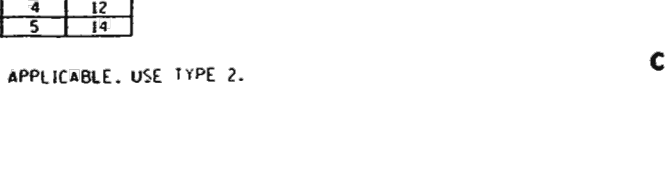
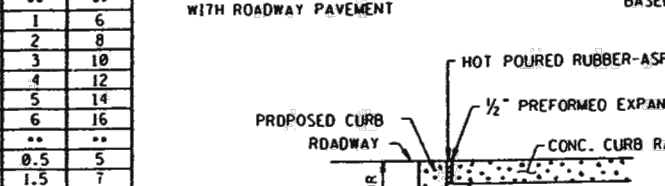
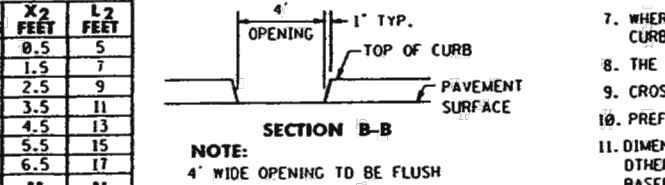
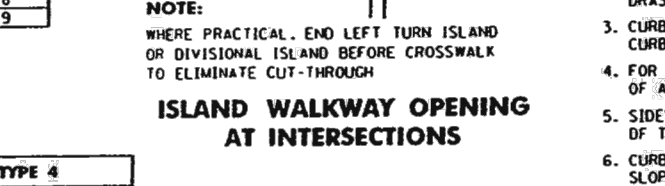
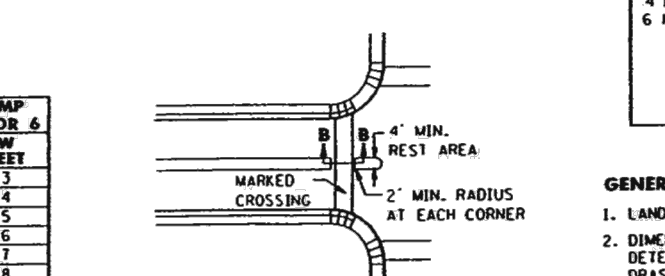
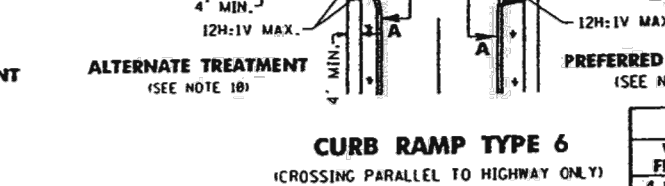
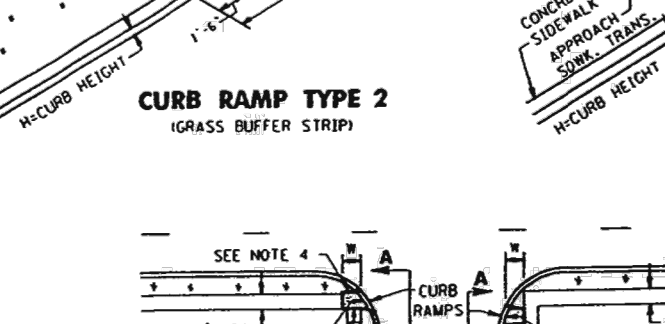
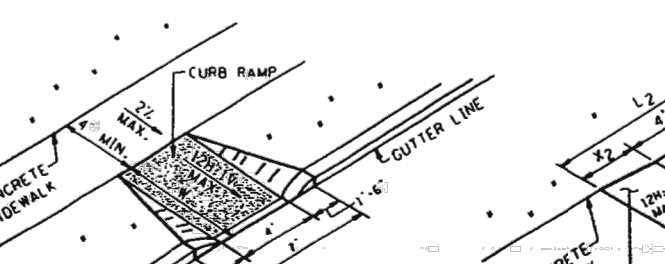
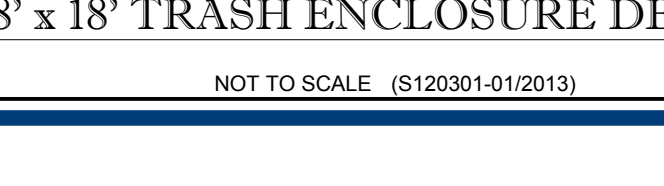
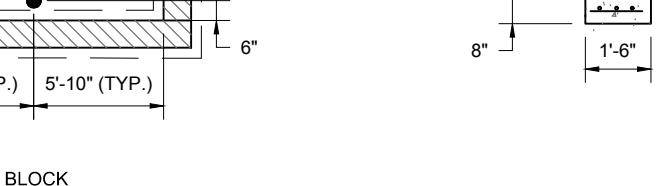
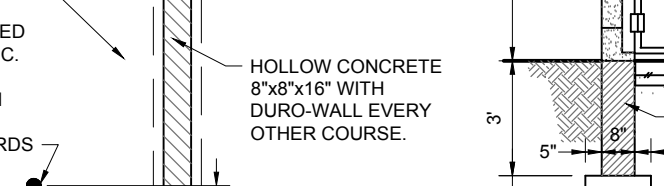
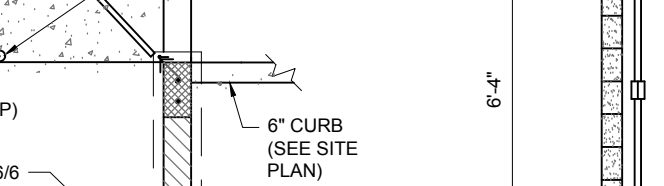
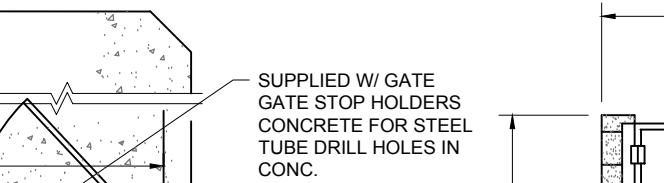
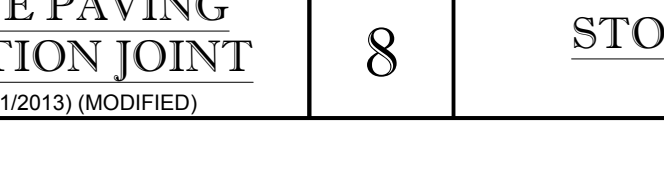
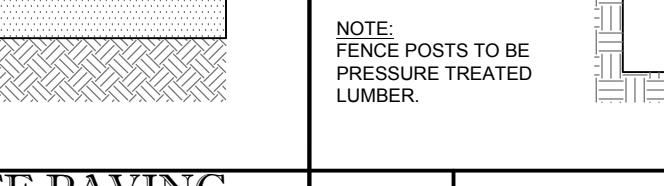
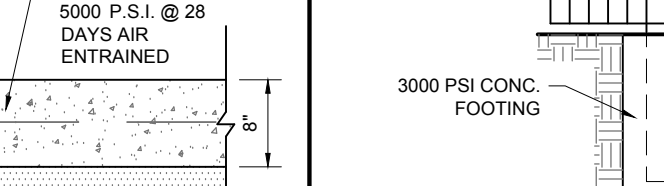
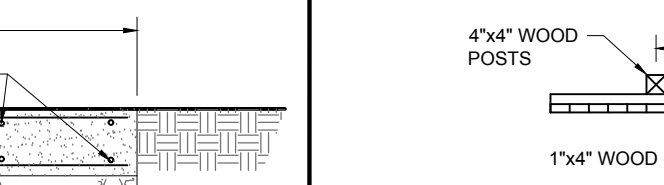
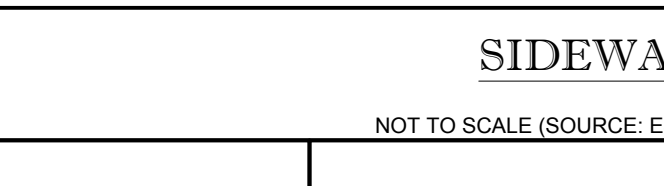
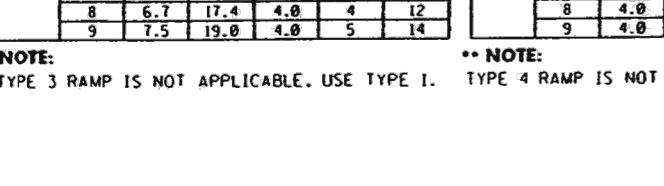
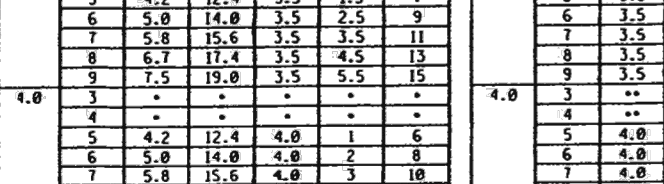
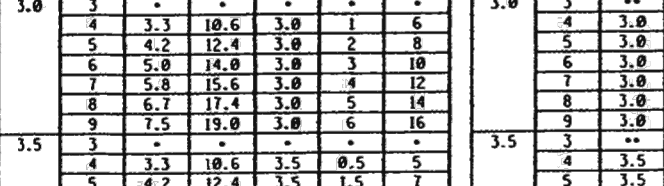
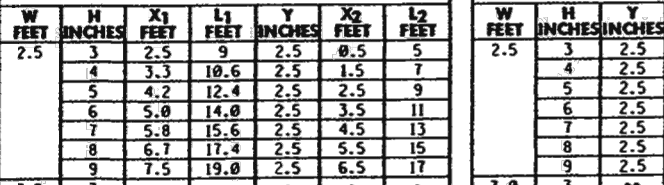
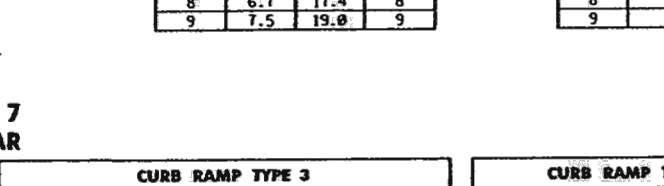
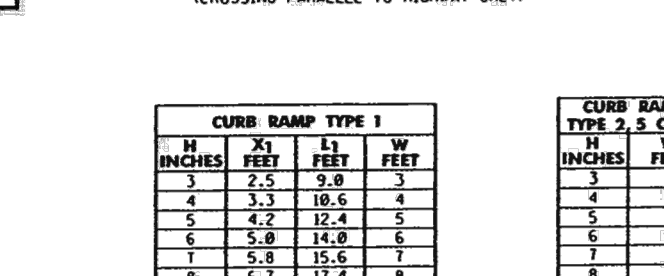
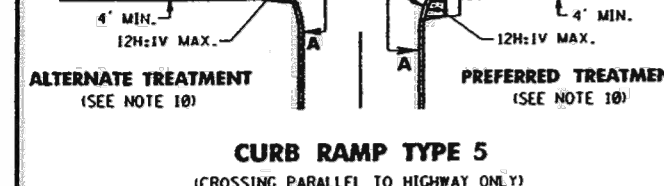
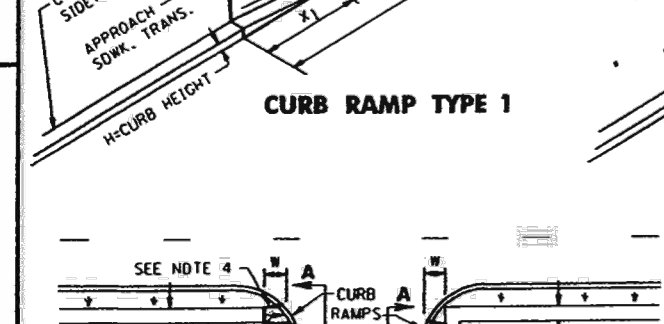
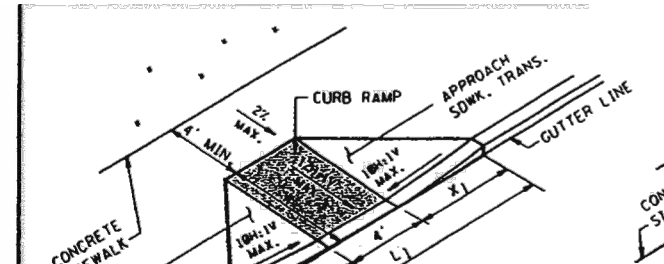
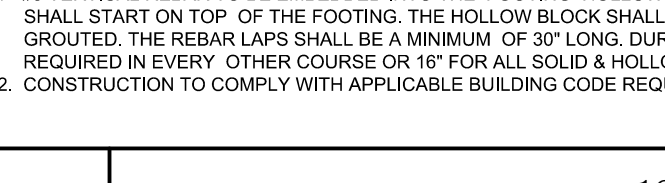
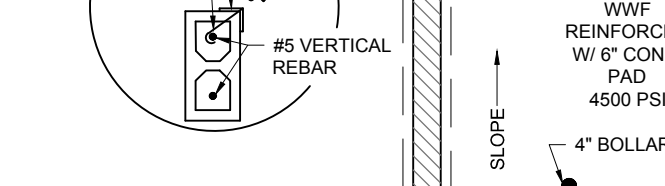
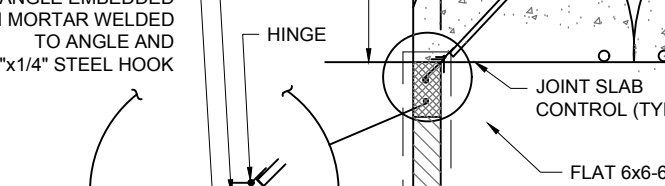
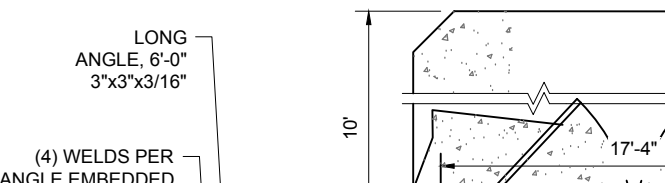
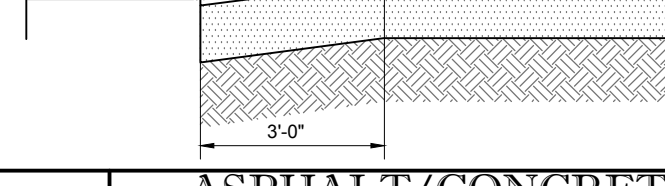
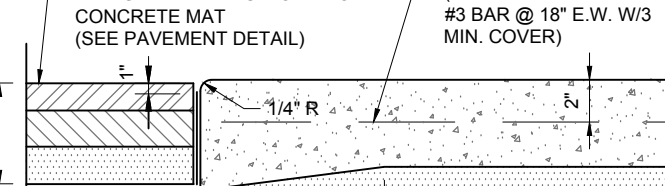
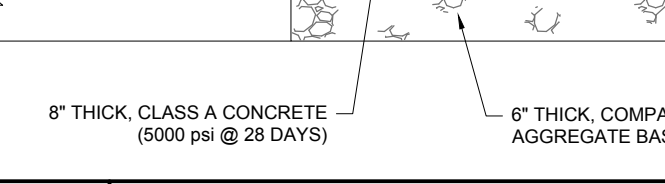
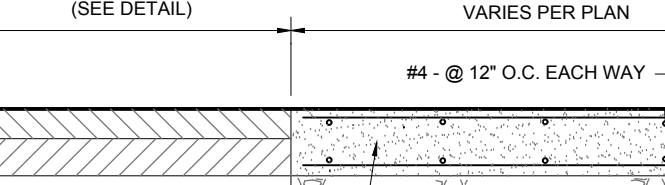
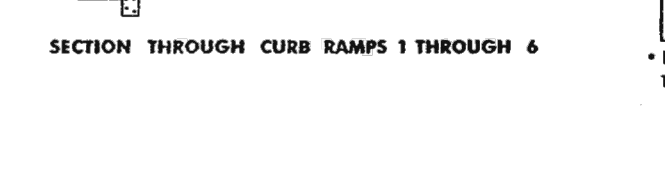
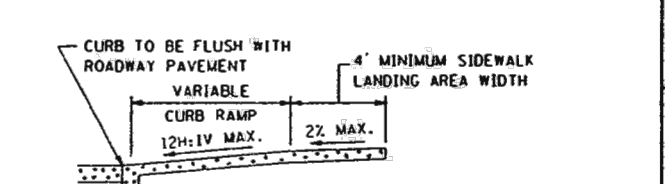
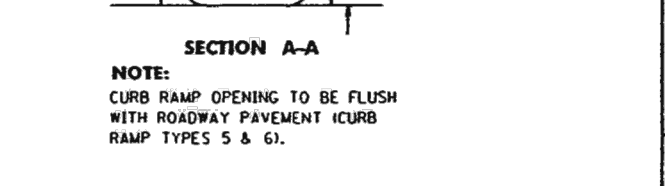
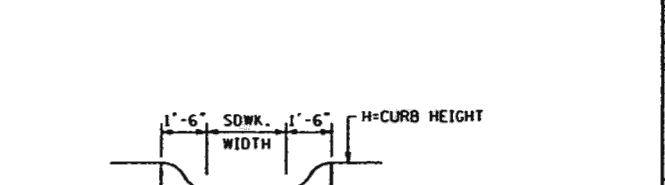
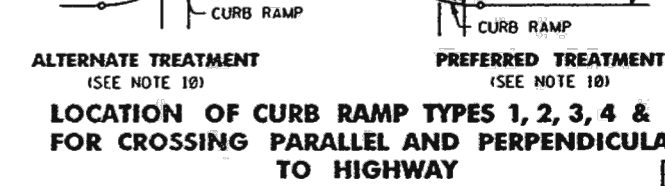
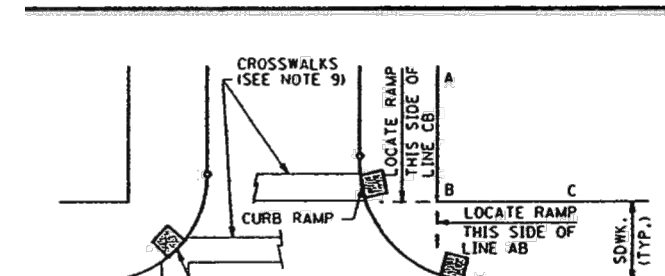
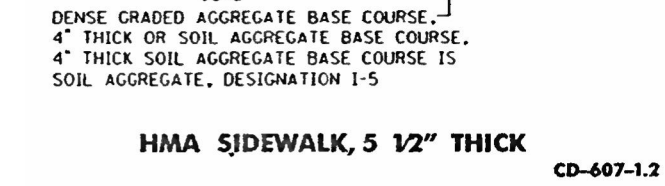
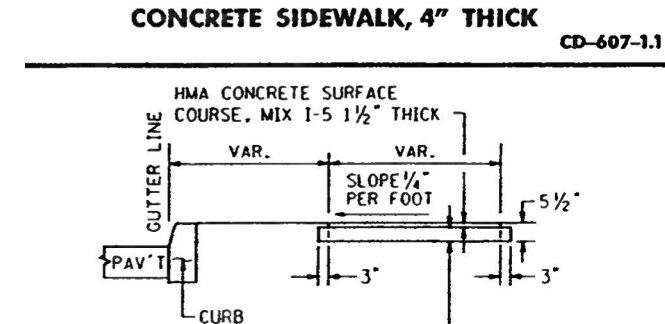
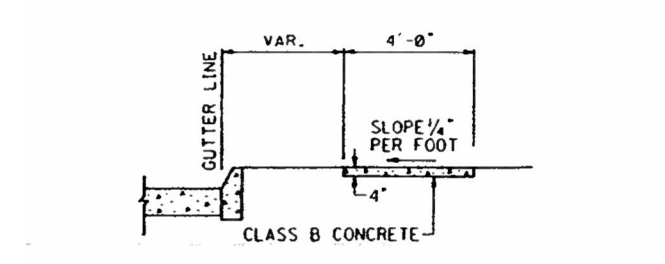
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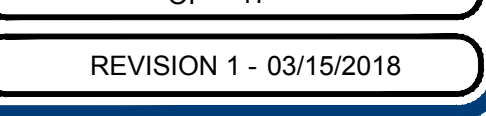
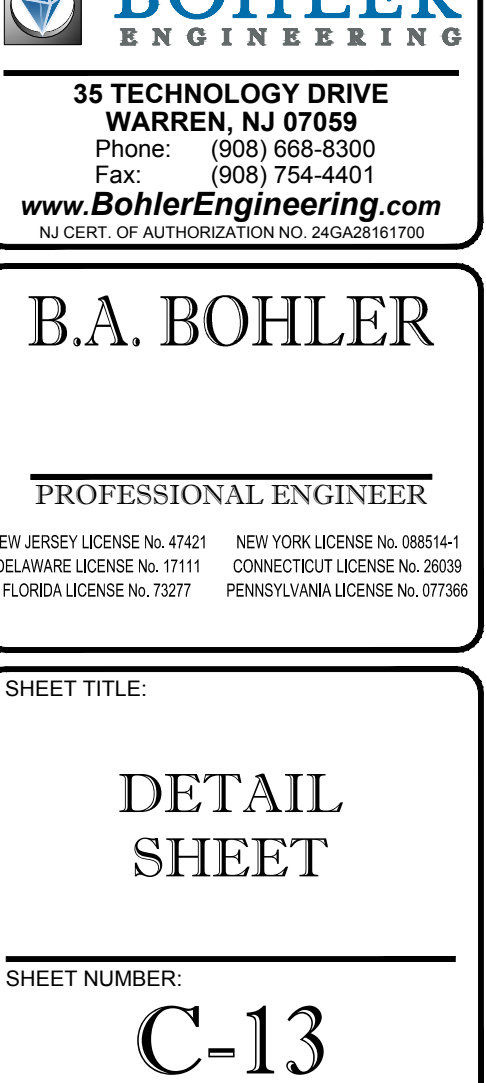
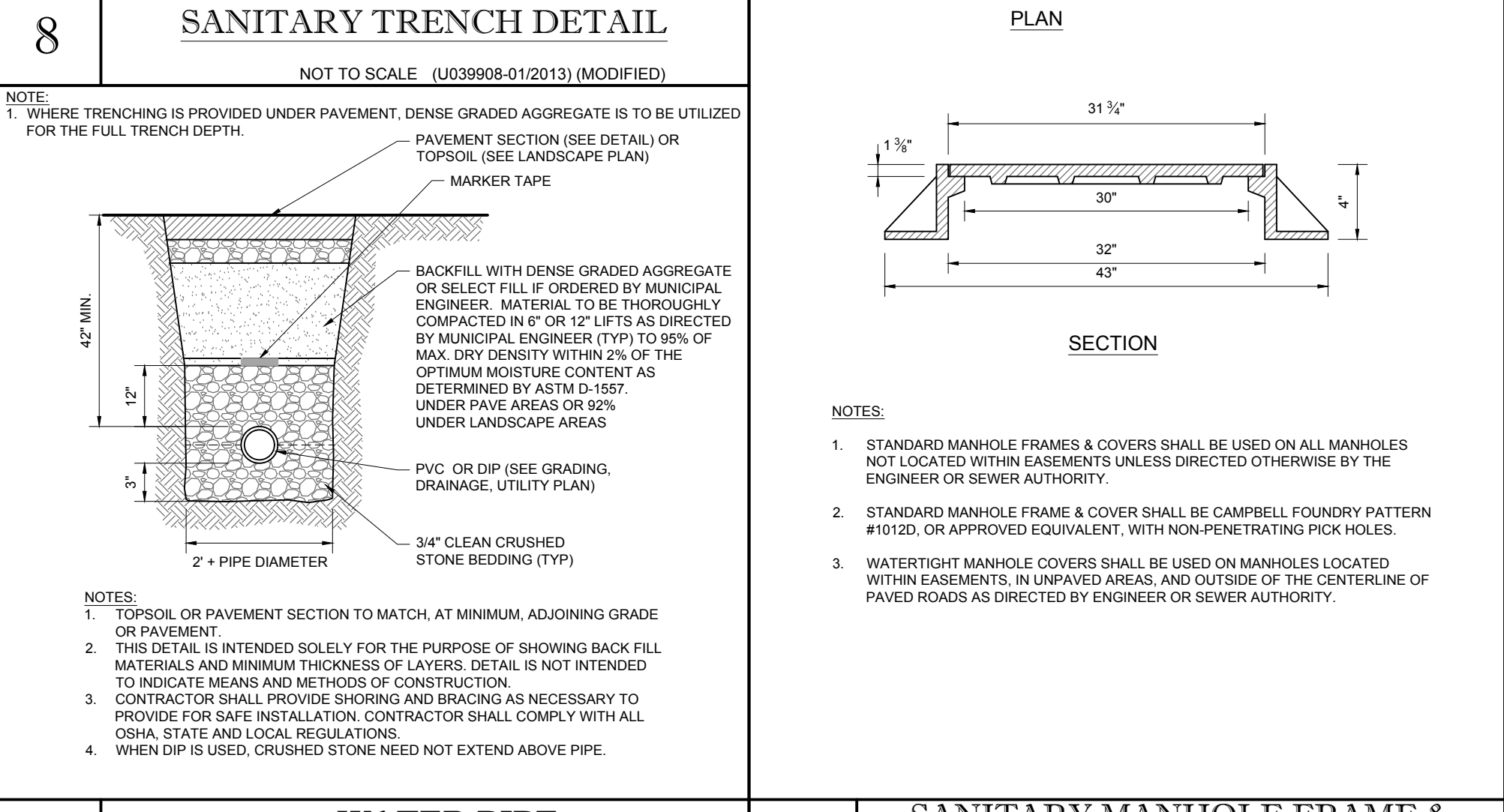
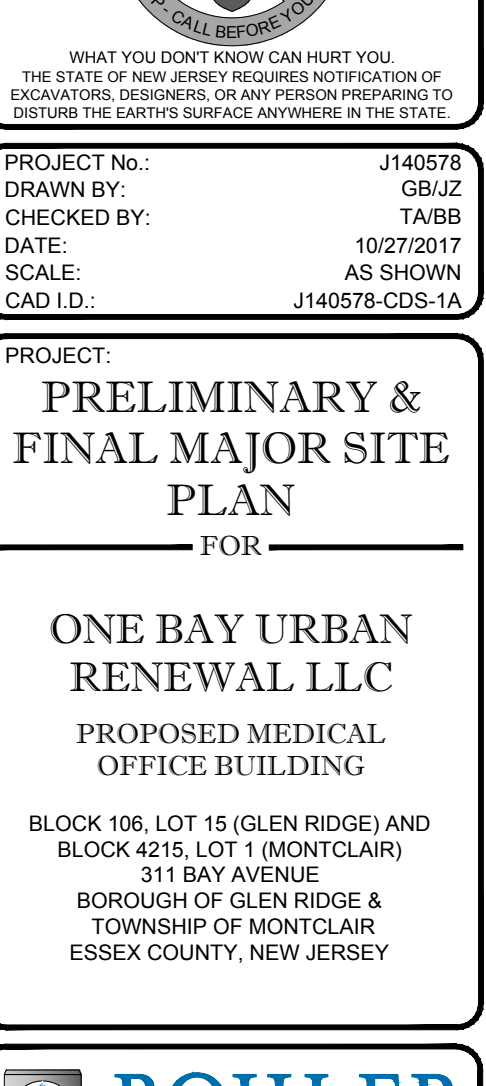
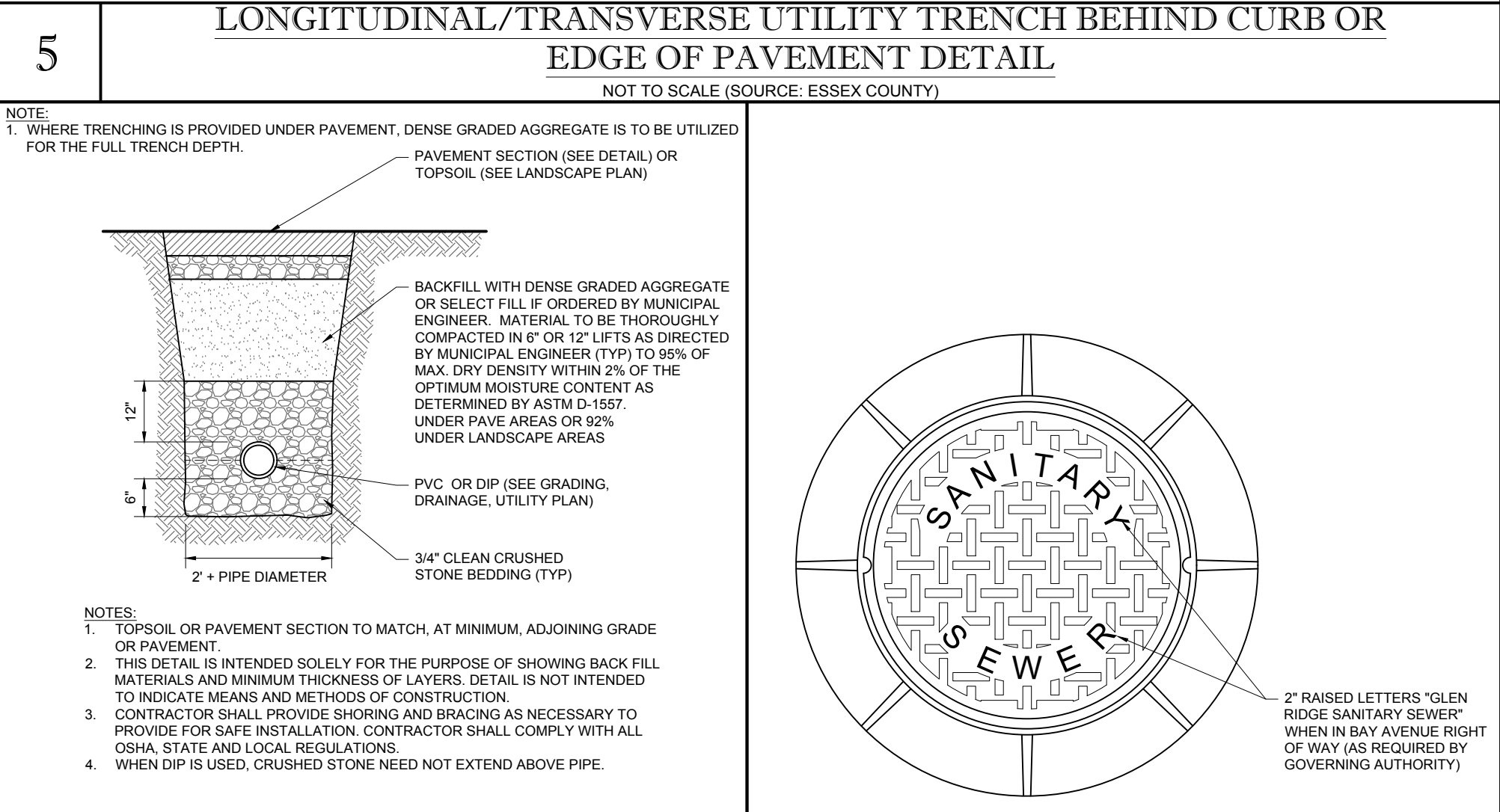
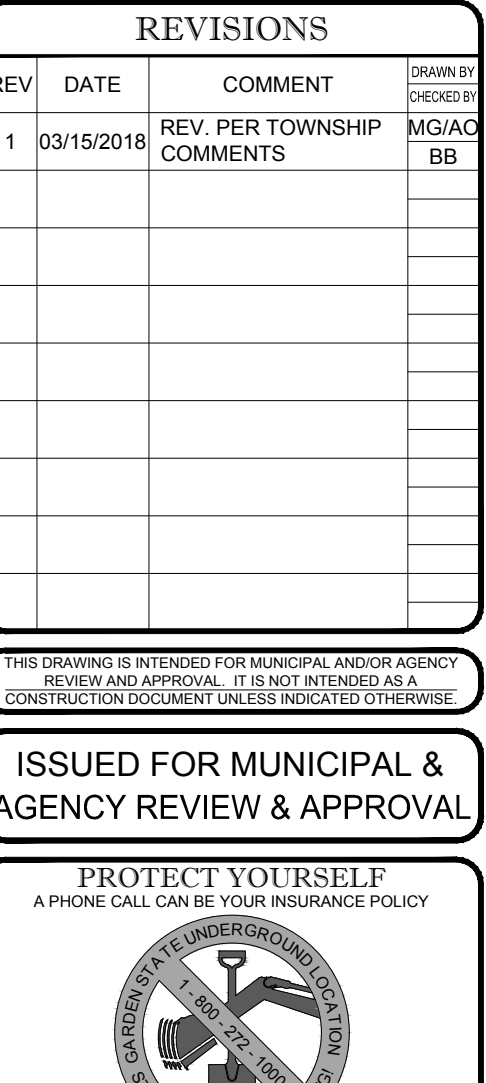
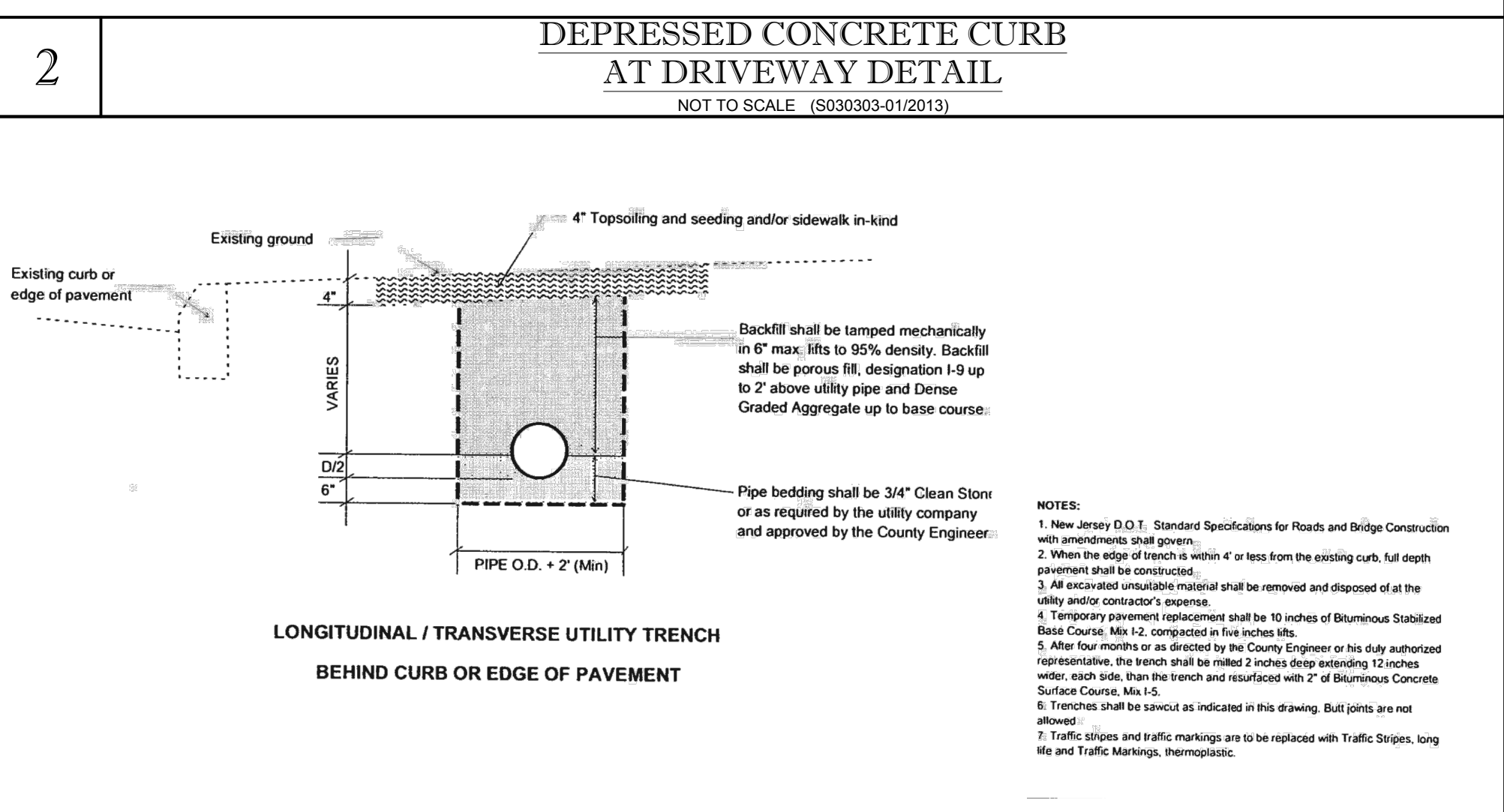
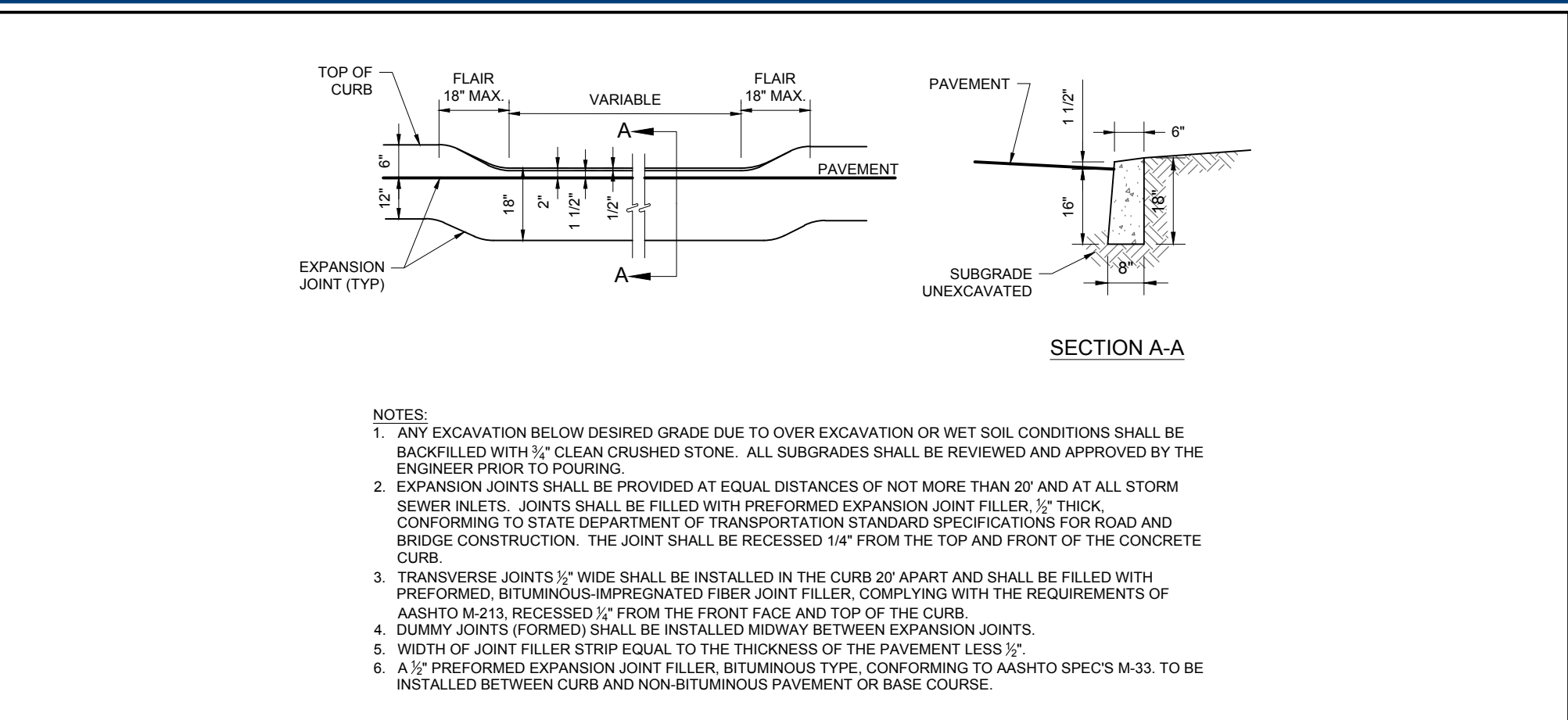
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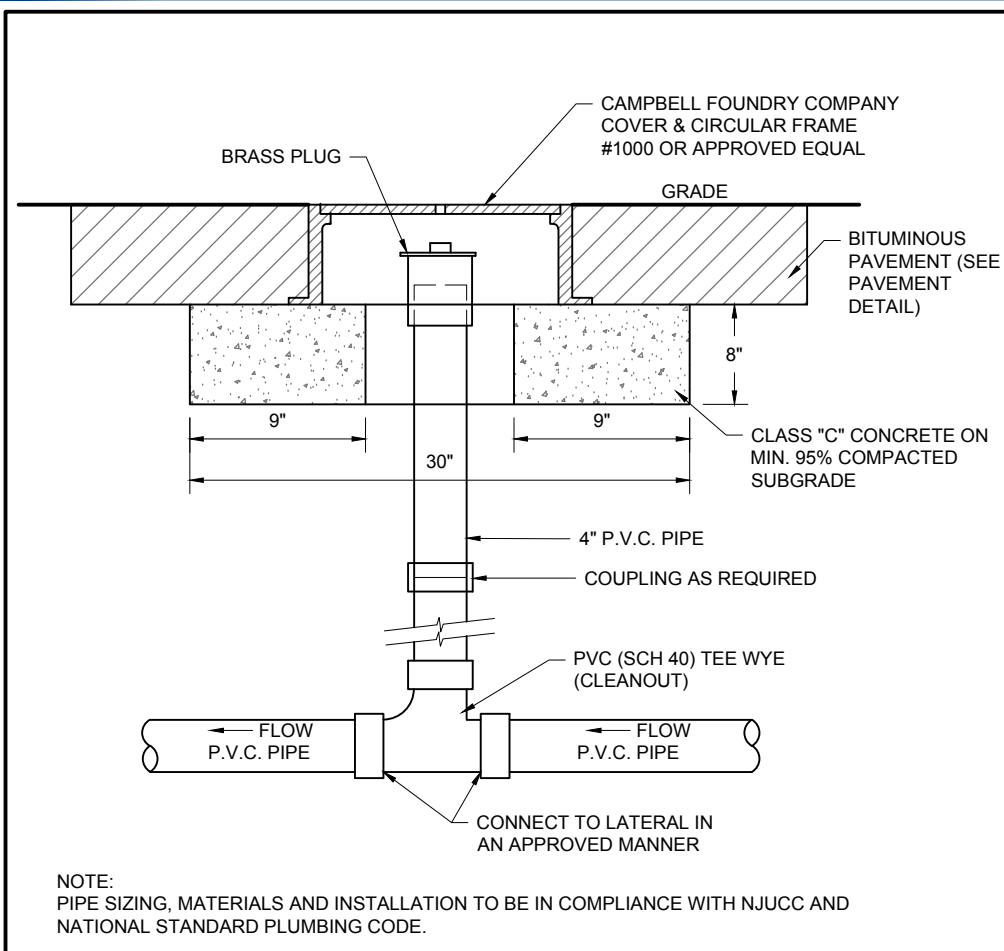
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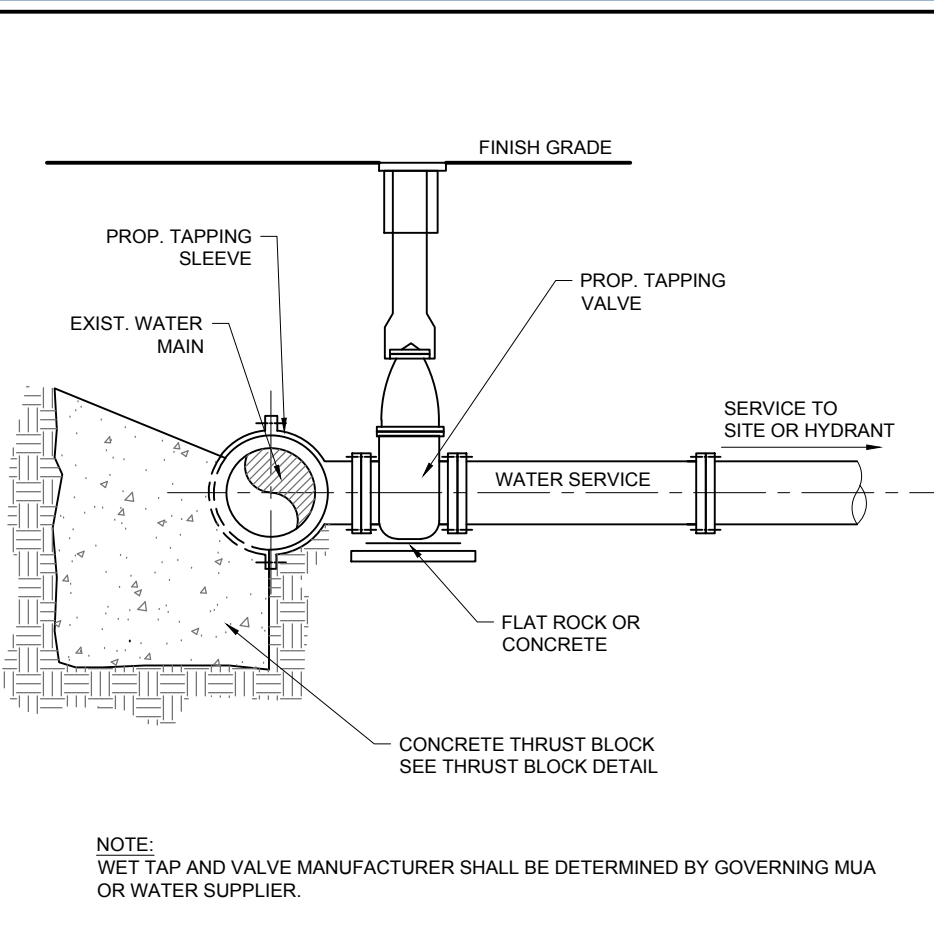




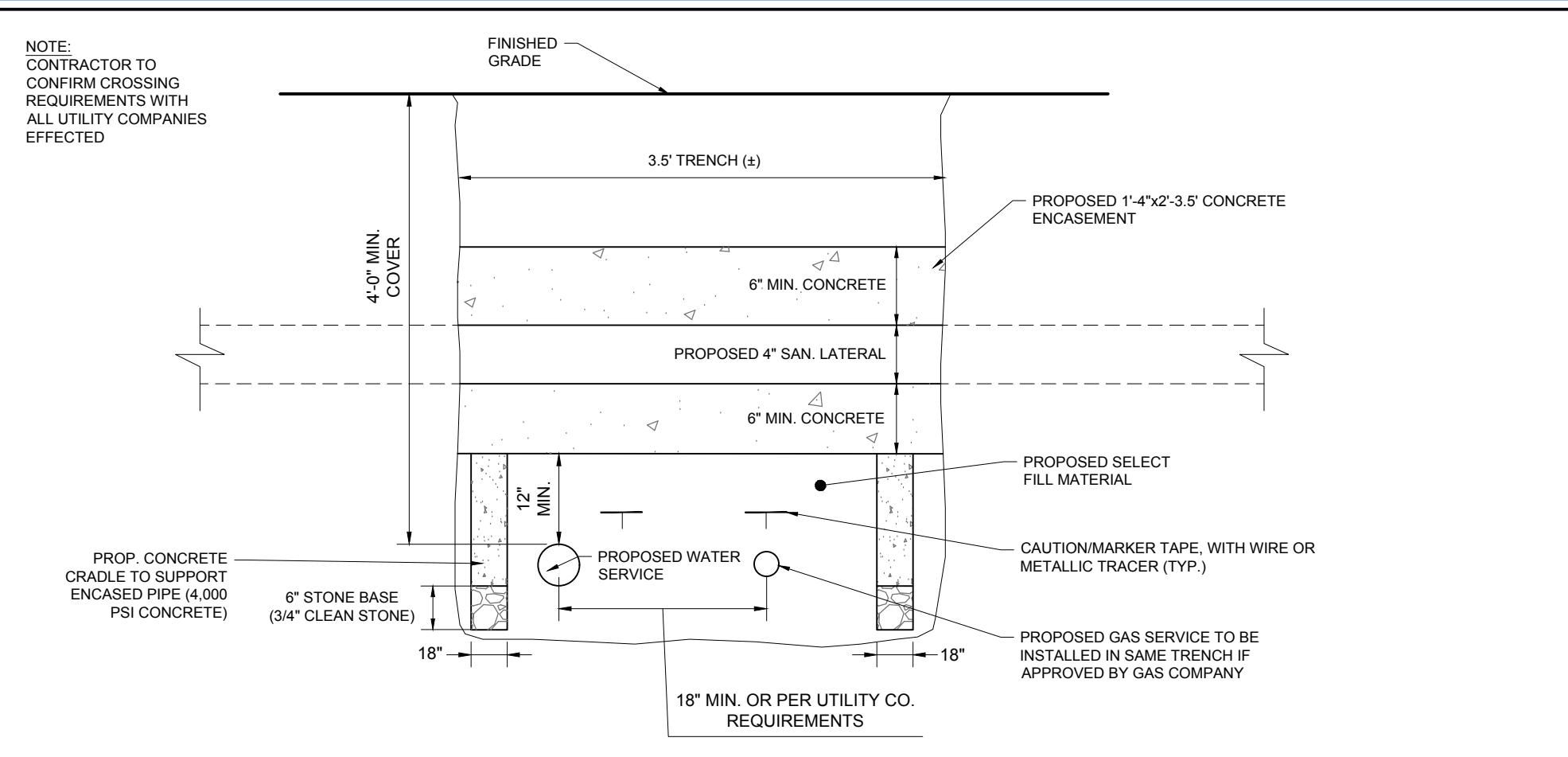
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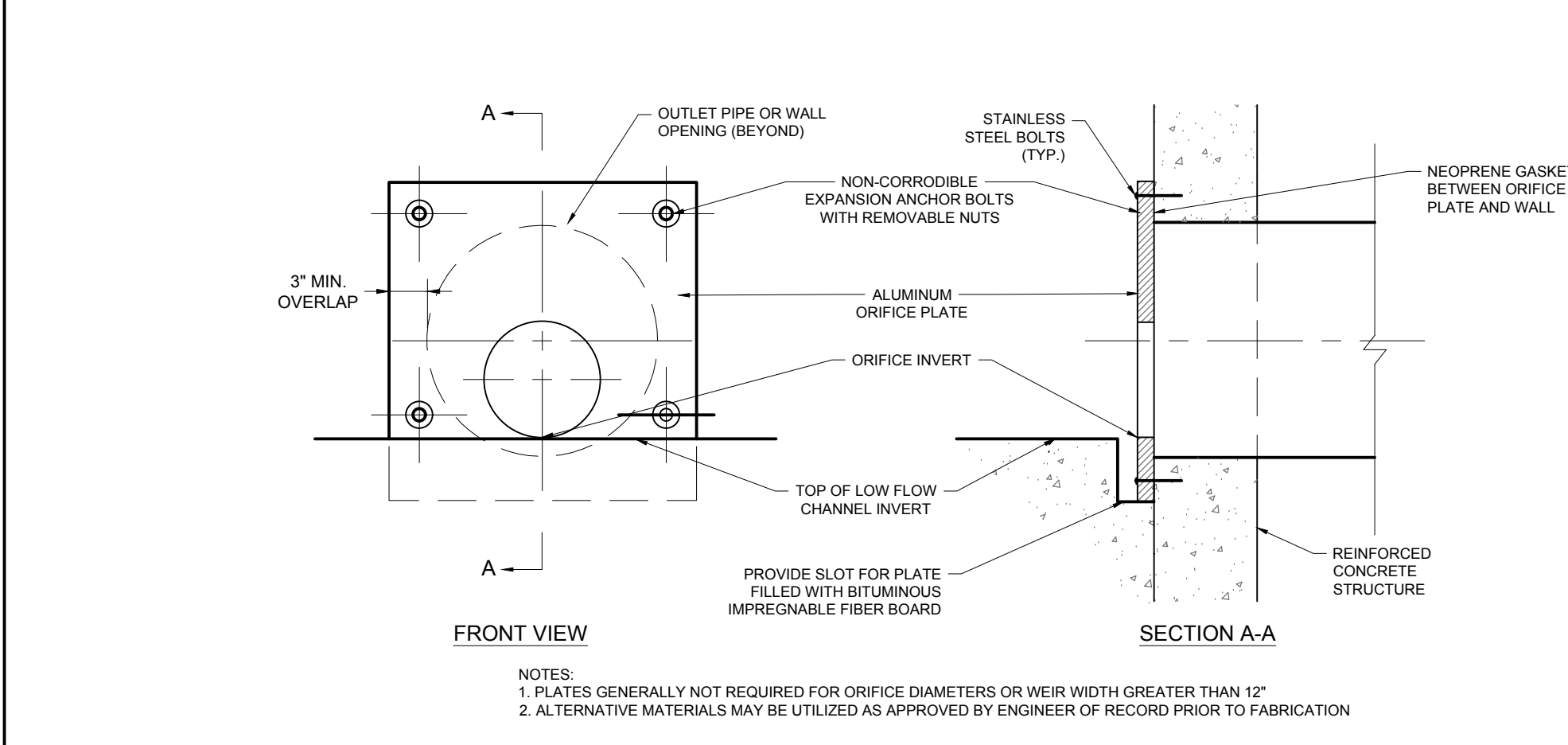
1 SEWER CLEANOUT WITHIN PAVED AREAS DETAIL
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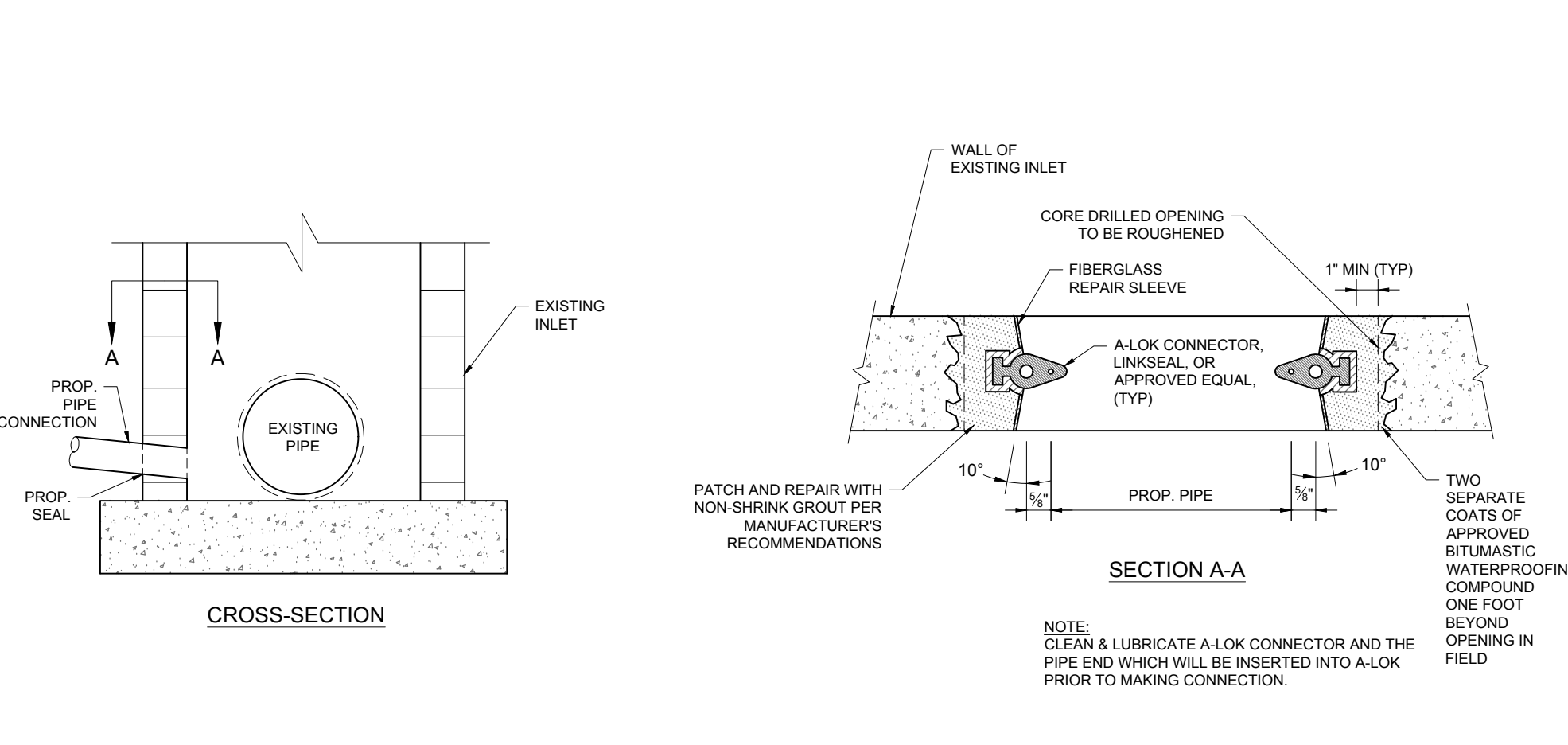
2 WET TAP DETAIL
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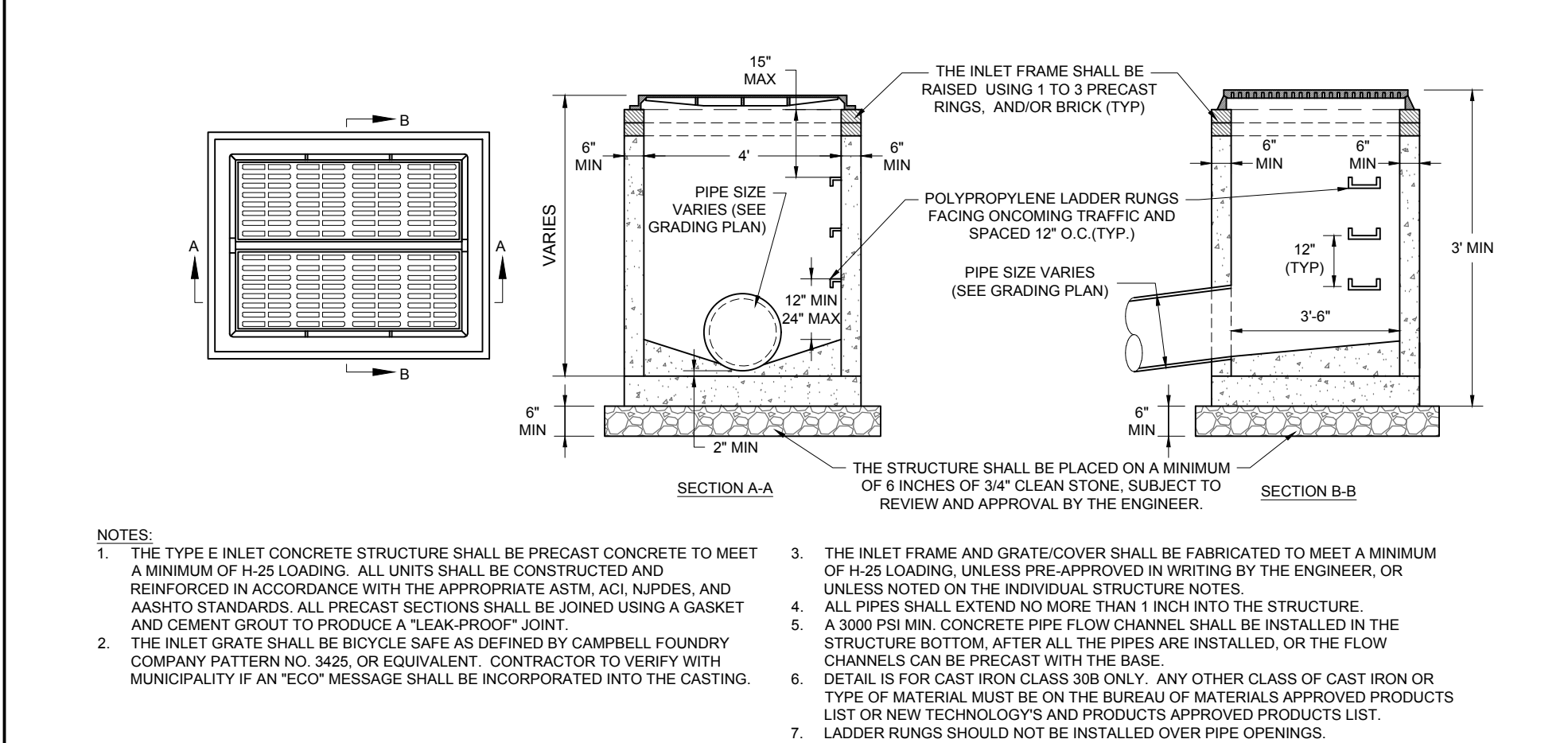
3 UTILITY CROSSING DETAIL
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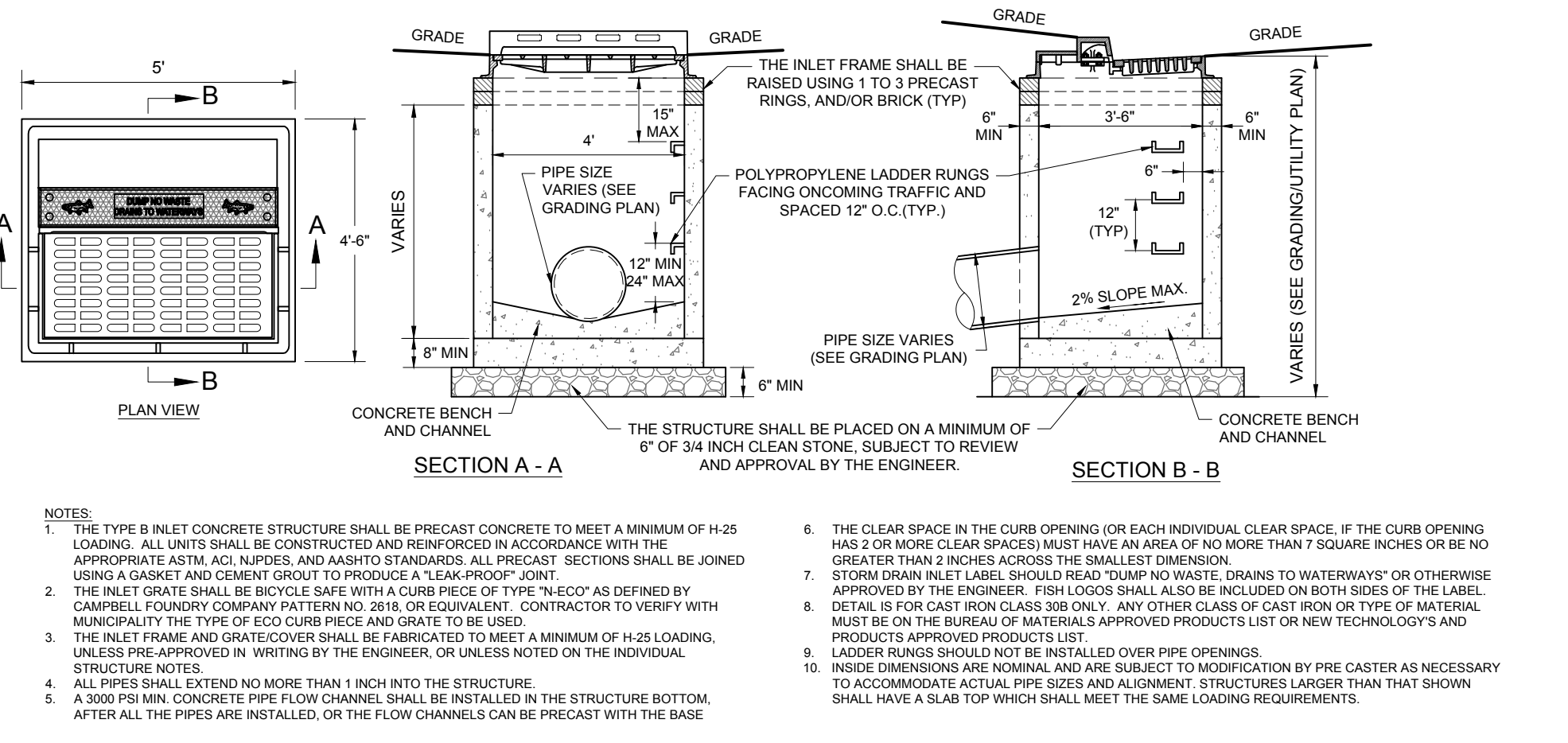
4 ORIFICE PLATE DETAILS
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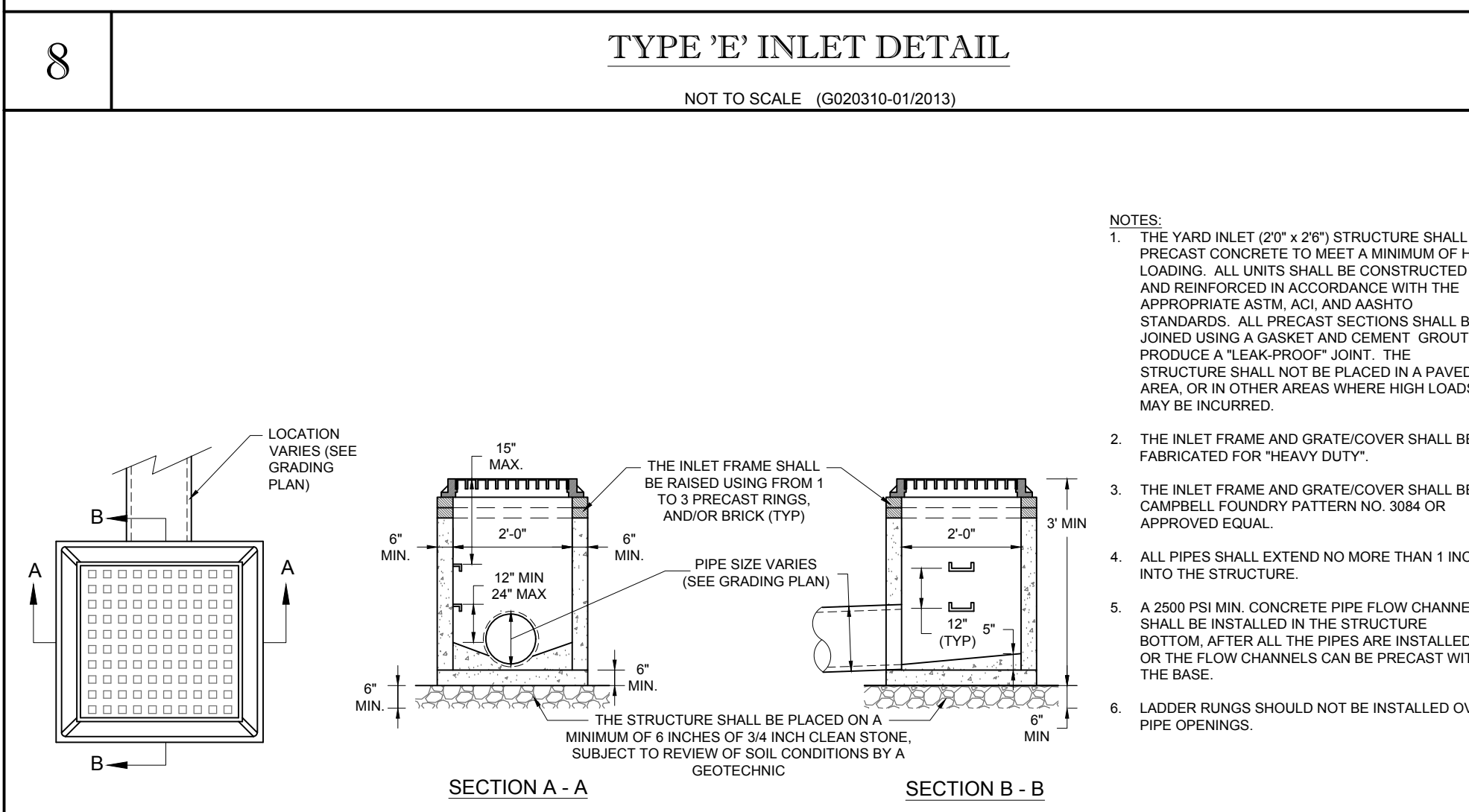
5 PIPE TO EXISTING INLET CONNECTION DETAIL
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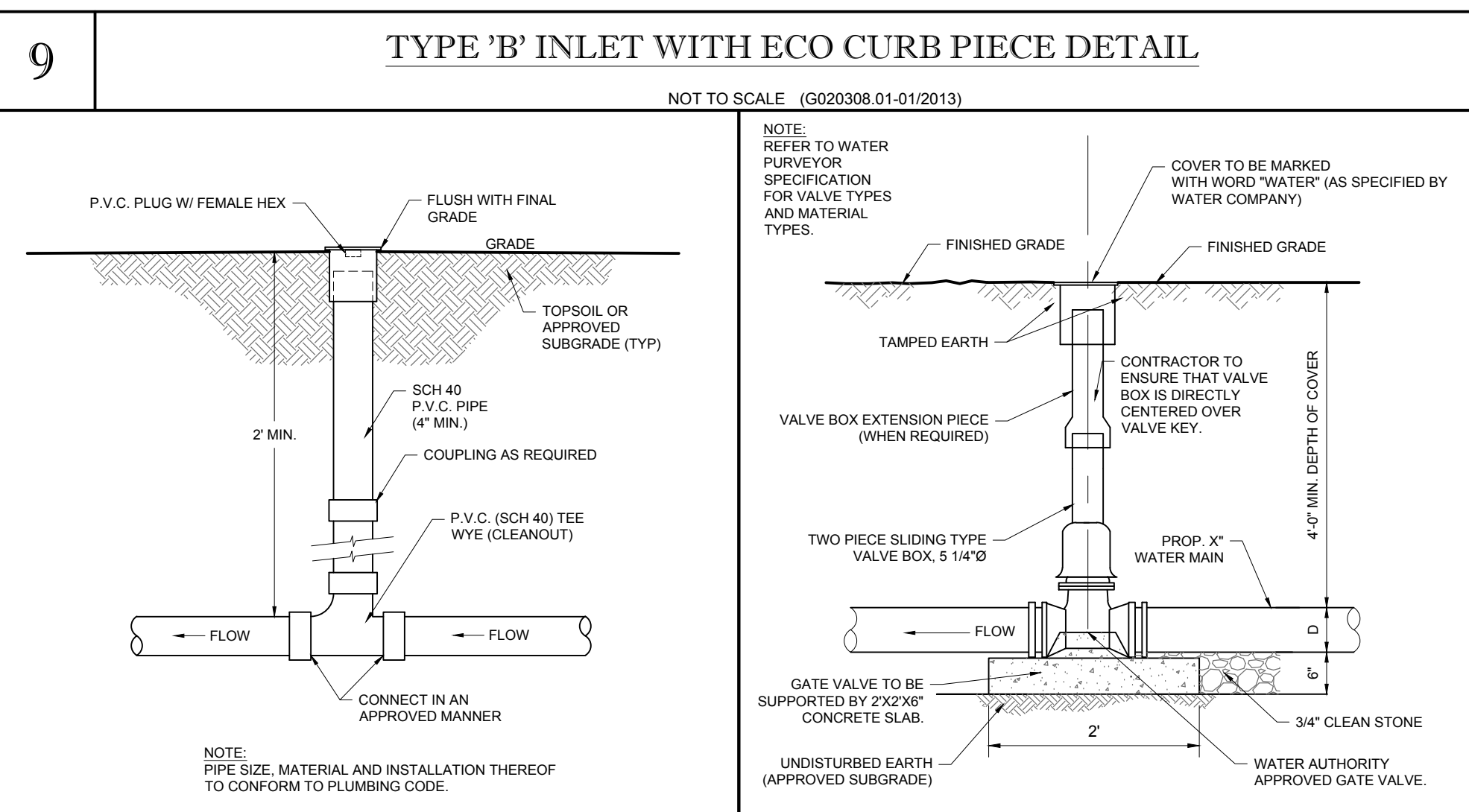
6 GENERAL INLET NOTES
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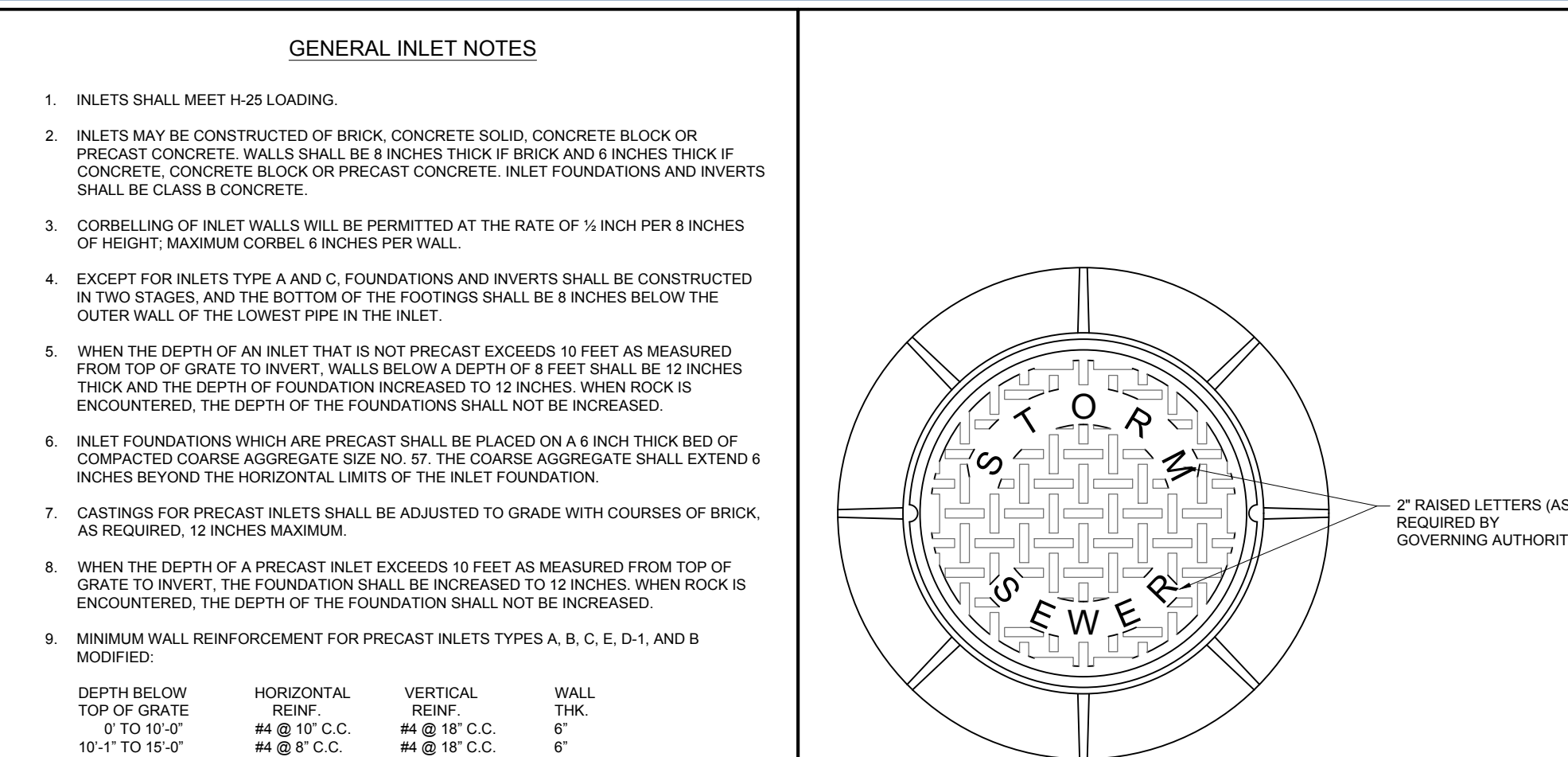
7 STORM MANHOLE FRAME & COVER DETAIL
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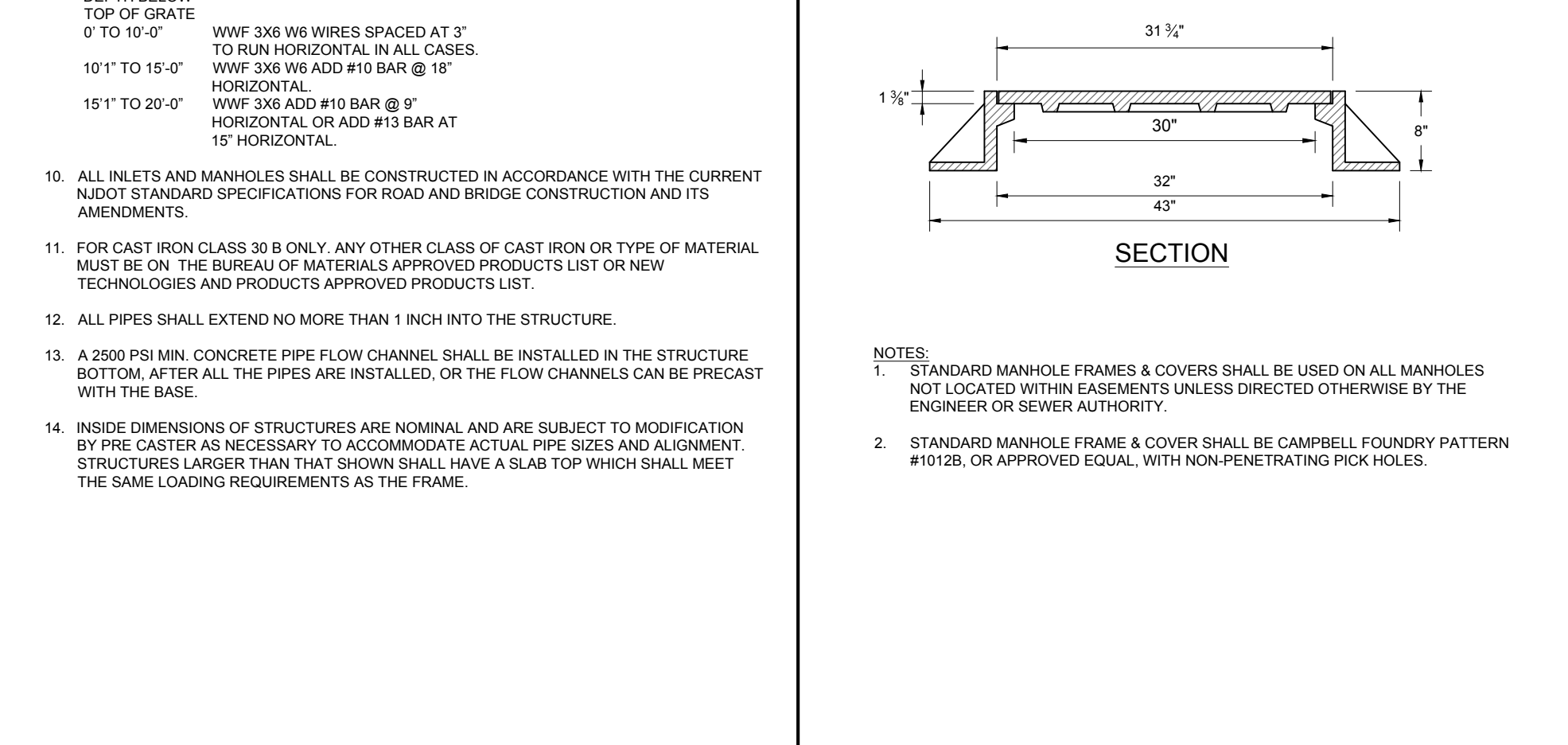
8 TYPE 'E' INLET DETAIL
NOT TO SCALE (G020310-01/2013)



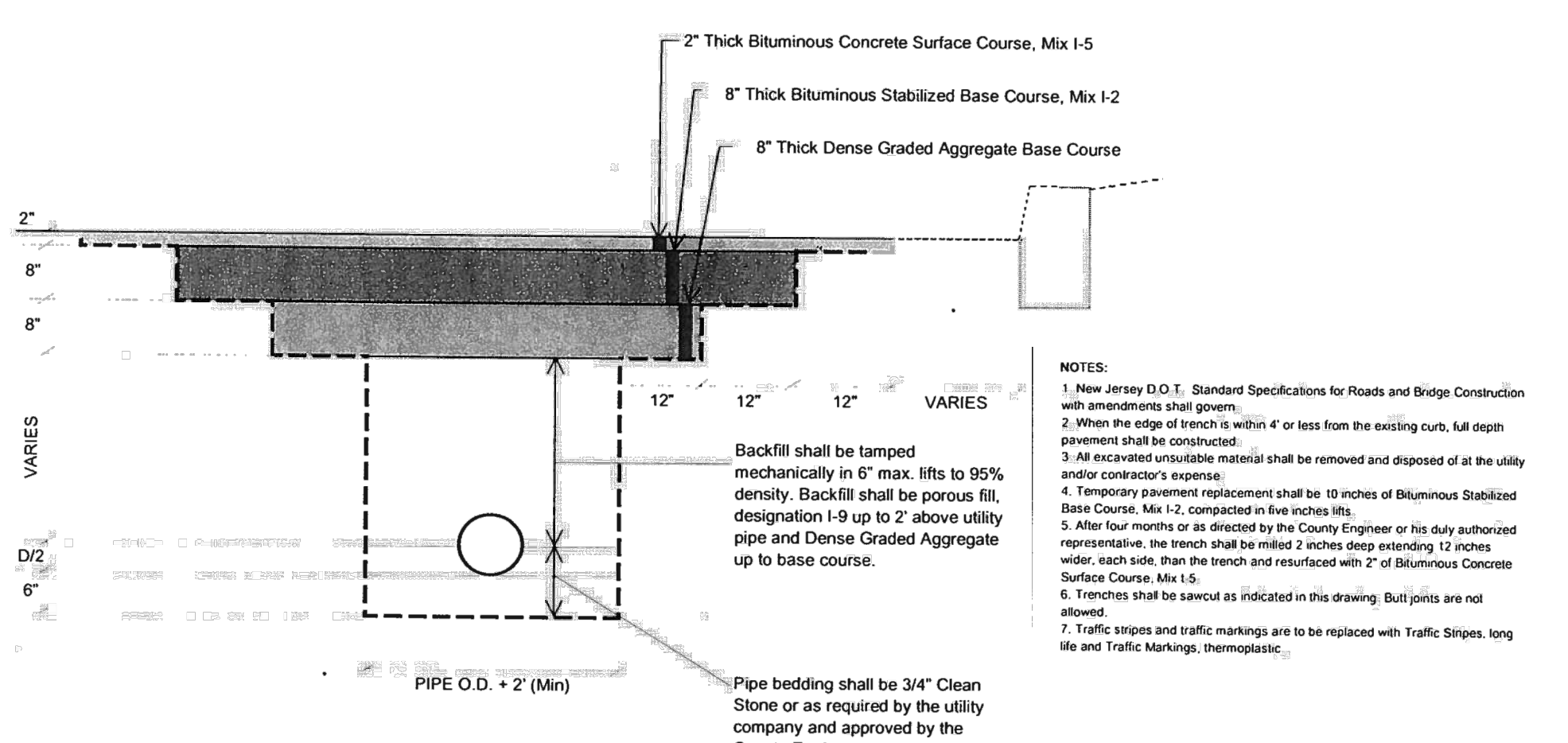
9 TYPE 'B' INLET WITH ECO CURB PIECE DETAIL
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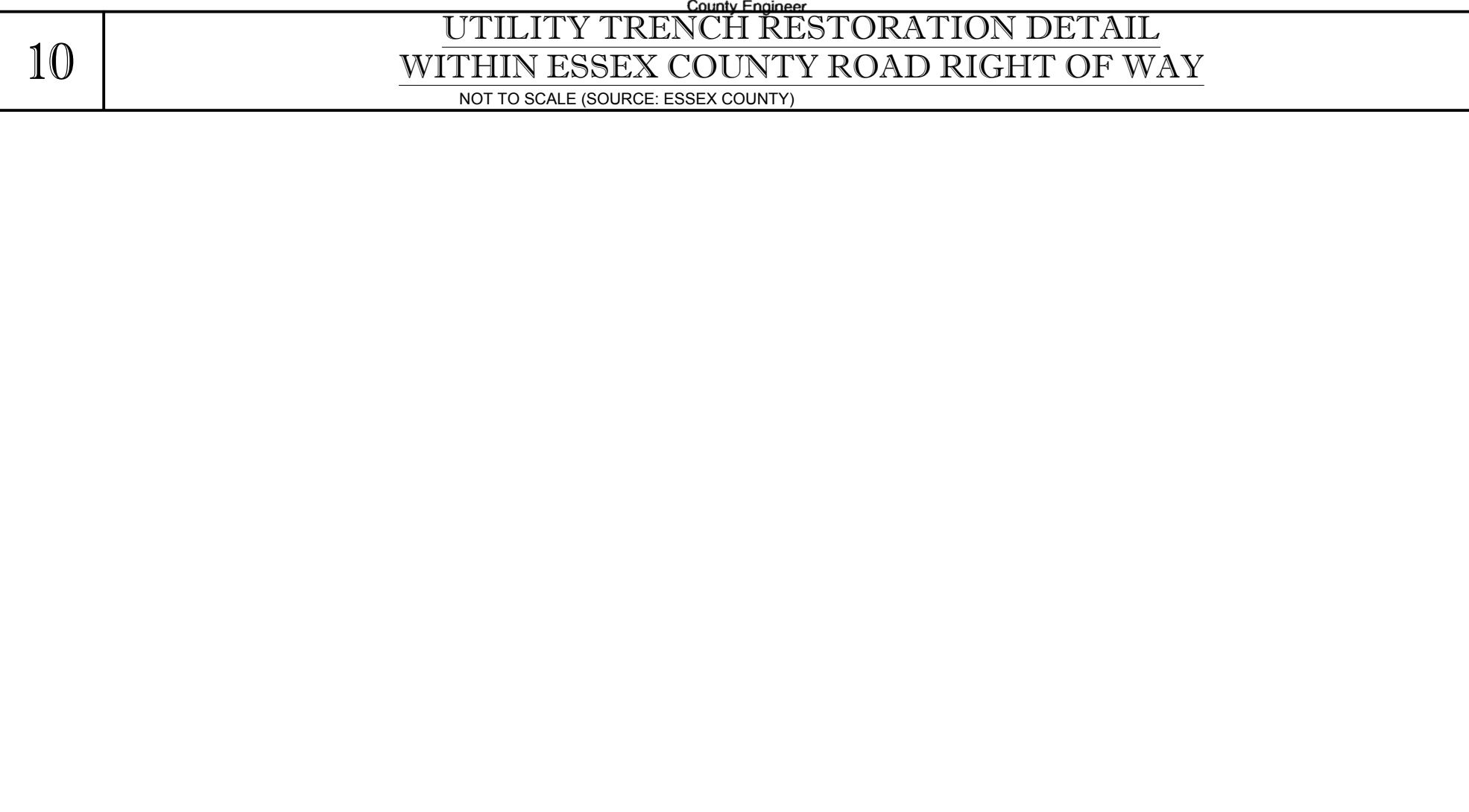
10 UTILITY TRENCH RESTORATION DETAIL
NOT TO SCALE (SOURCE: ESSEX COUNTY)



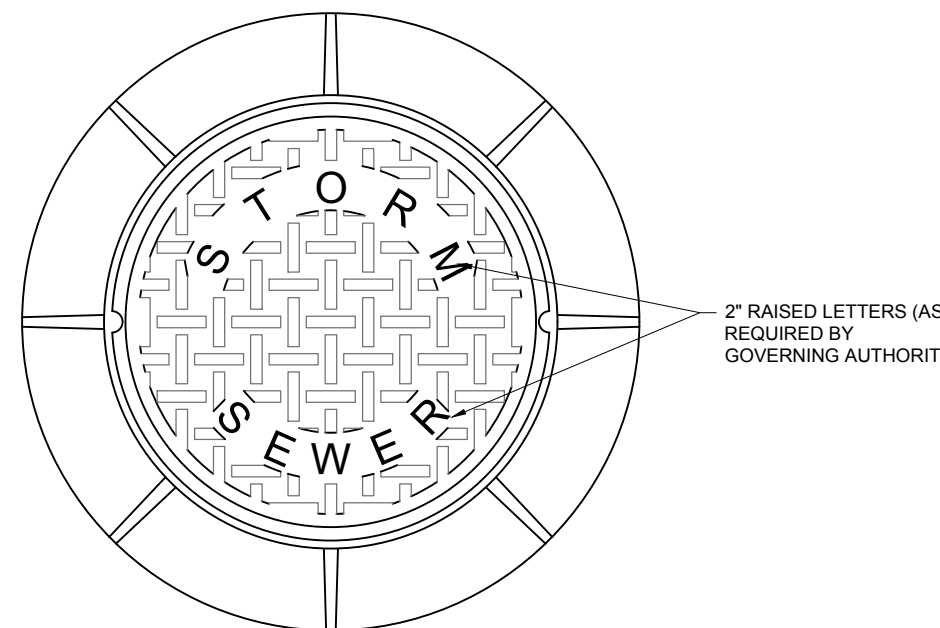
11 YARD INLET 2'-0" x 2'-0" DETAIL
NOT TO SCALE (G020311-01/2013) (MODIFIED)



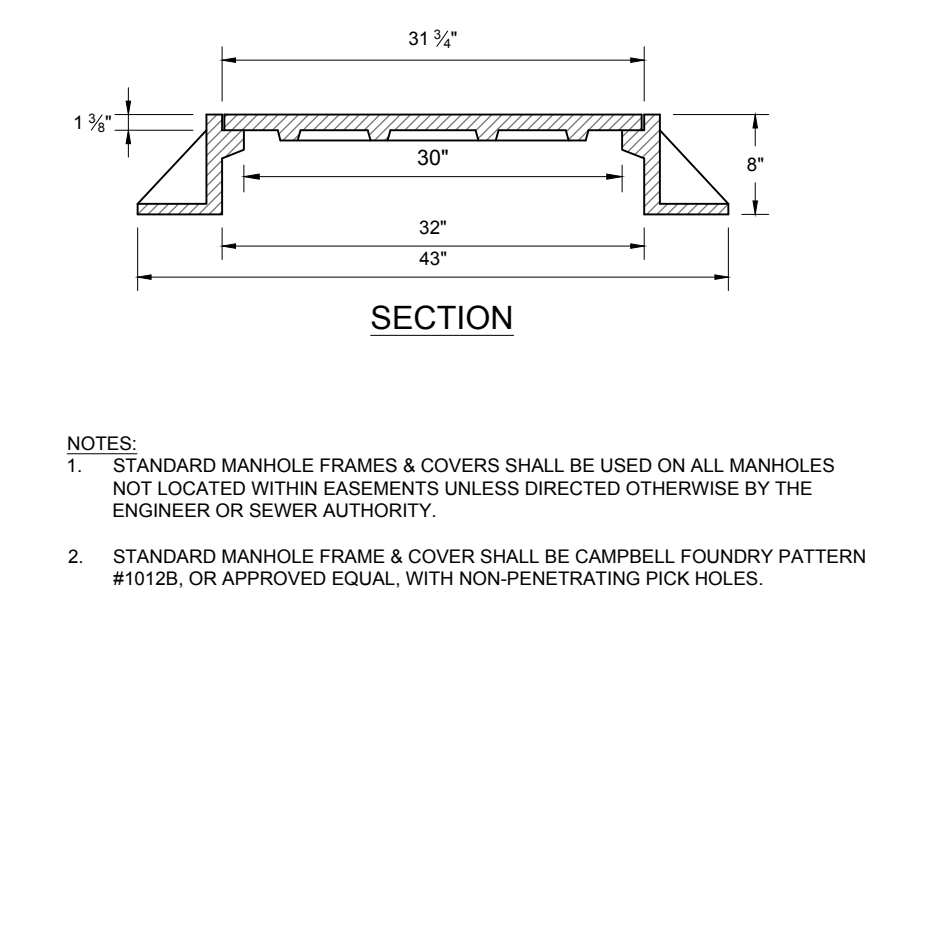
12 ROOF DRAIN CLEANOUT LANDSCAPE AREAS DETAIL
NOT TO SCALE (G020110-01/2013)



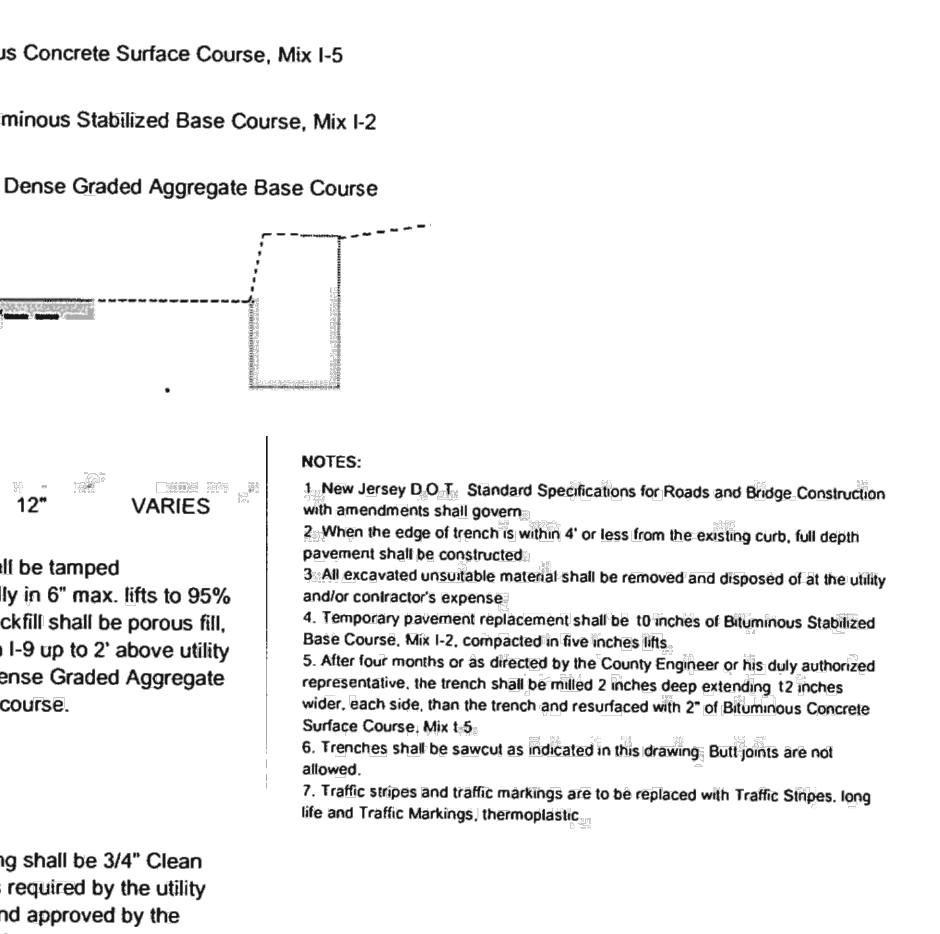
13 GATE VALVE AND BOX DETAIL
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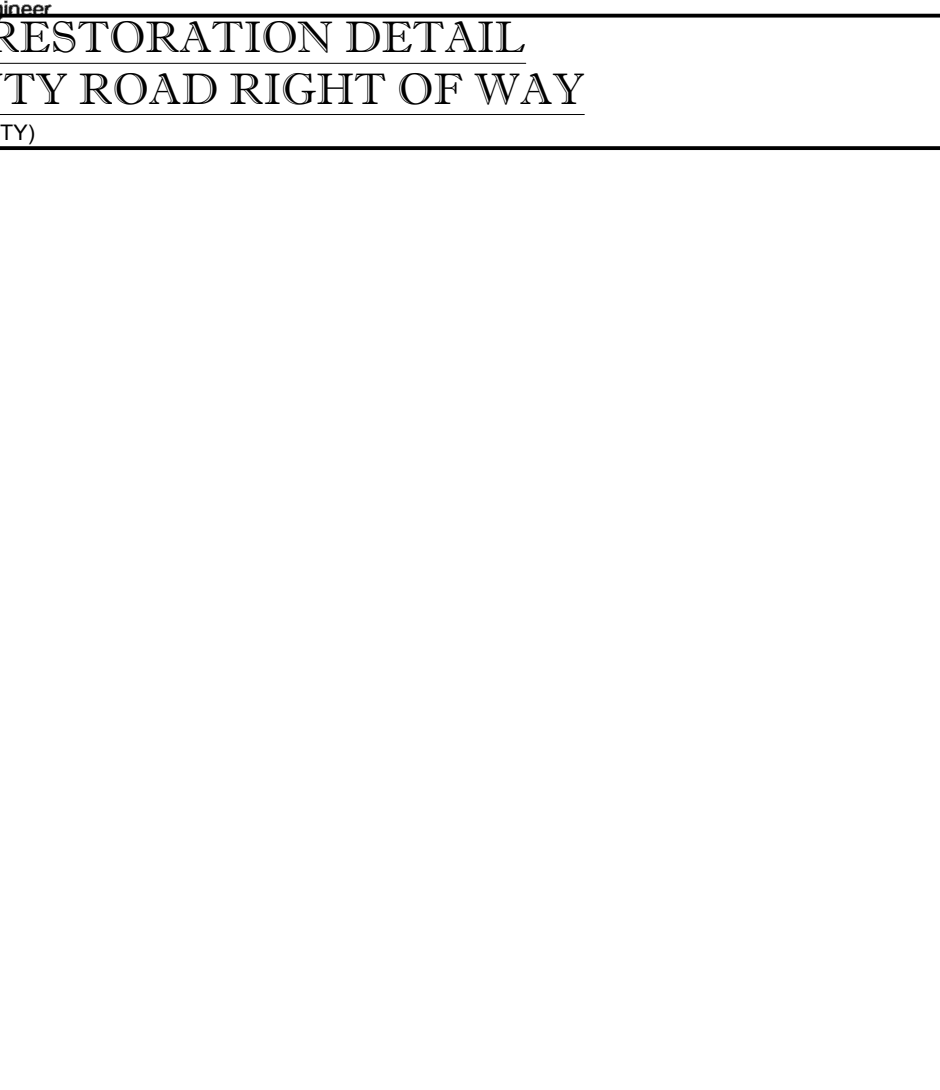
14 GENERAL INLET NOTES
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15 STORM MANHOLE FRAME & COVER DETAIL
NOT TO SCALE (G020410-01/2013)



16 UTILITY TRENCH RESTORATION DETAIL
NOT TO SCALE (SOURCE: ESSEX COUNTY)



17 YARD INLET 2'-0" x 2'-0" DETAIL
NOT TO SCALE (G020311-01/2013) (MODIFIED)

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LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
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KANSAS CITY, MO
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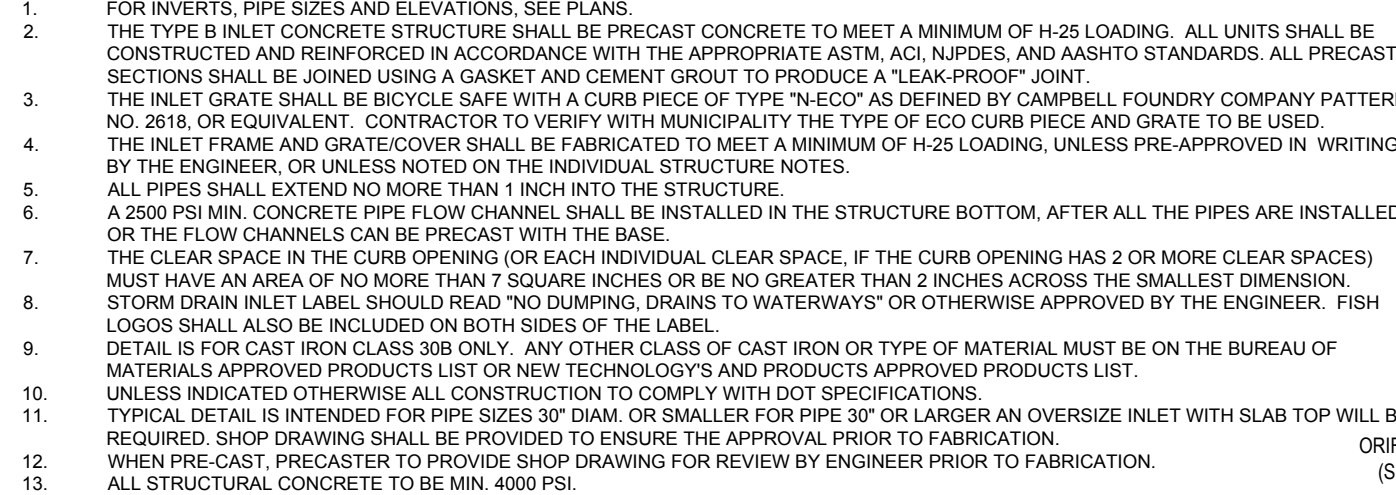
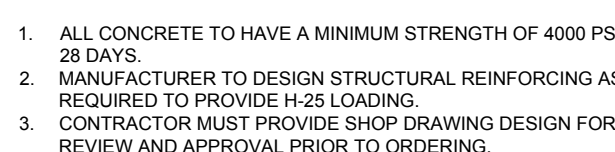
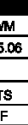
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DRAWN BY: GBUZ
CHECKED BY: TABB
DATE: 10/27/2017
SCALE: AS SHOWN
CAD ID: J140578-CDS-1A

PRELIMINARY & FINAL MAJOR SITE PLAN FOR
ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

BOHLER ENGINEERING
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WARREN, NJ 07059
Phone: (908) 668-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 245A28161700

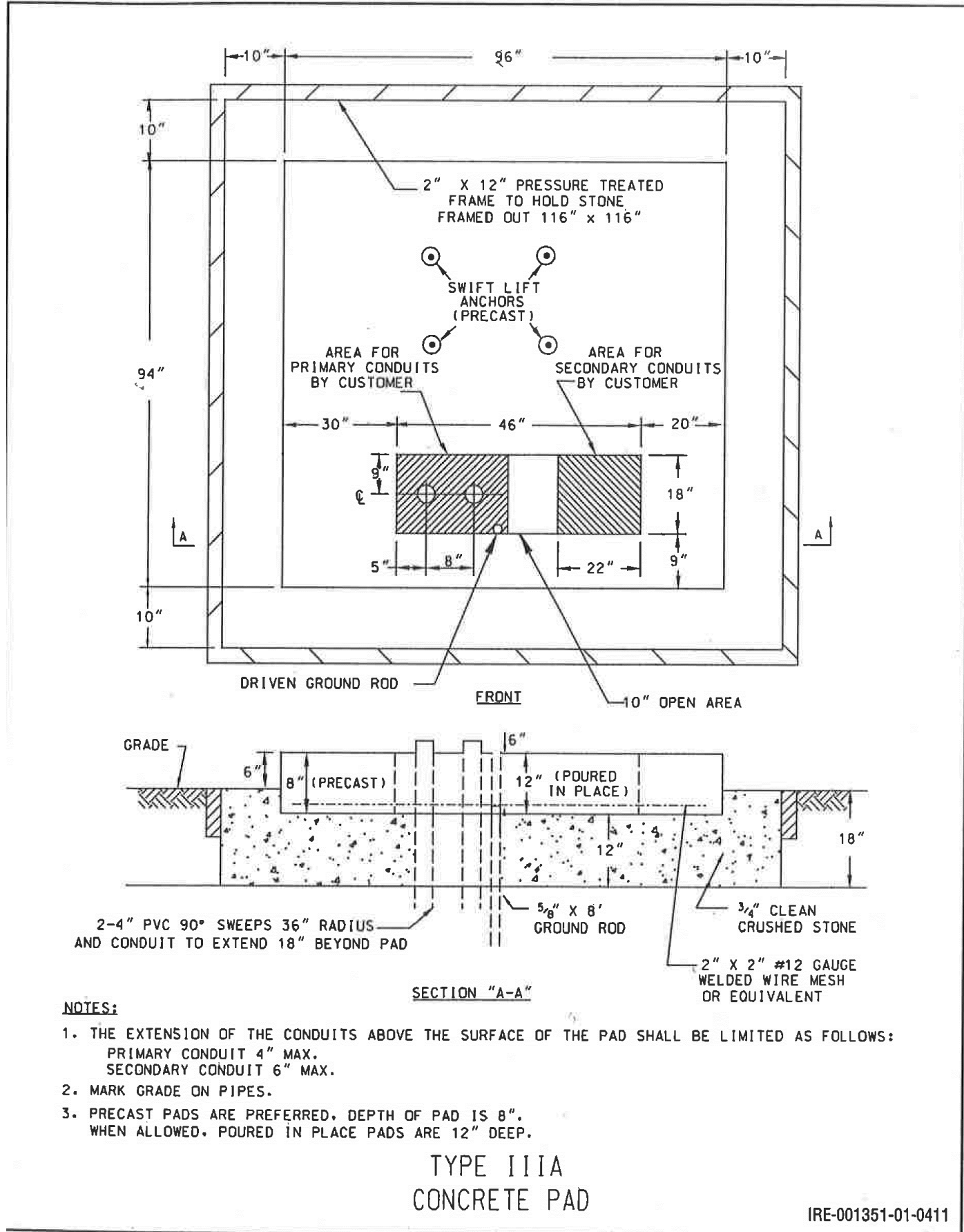
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DETAIL SHEET
SHEET NUMBER:
C-14
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SHEET TITLE:	
DETAIL SHEET	
SHEET NUMBER:	
C-15 OF 17	
REVISION 1 - 03/15/2018	

NOT TO SCALE




Job:

Type:

Notes:

Poles

Straight Round Steel



Page 1 of 4

The Philips Gardco SRS straight round steel pole consists of a one-section design fabricated steel tubing circumferentially welded to a structural quality hot rolled carbon steel plate. The poles are finished with an electrostatically applied, thermally cured TGIC polyester powdercoat. All poles include anchor bolts, full base cover, hand hole, ground lug and top cap.

PREFIX

HEIGHT

SIZE

DRILLING

FINISH

OPTIONS

Enter the order code into the appropriate box above. Note: Gardco reserves the right to reduce a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX	HEIGHT	SIZE	DRILLING	FINISH	OPTIONS
SRS	10'	3"	D1 1 Way		
	14'	4"	D2 2 Way		
	16'	5"	D2@90 2 Way at 90°		
	20'		D3 3 Way		
	25', 25H'		D4 4 Way		
	30', 30H'		D3@120 3 Way at 120°		
			D4 4 Way		
			T2 2 3/8" OD Tension		
			T4 4" OD Tension		

1. Refers to relative strength based on steel load factors. H = Heavy.

FINISH

PP Prime Paint

BRP Bronze Paint

BLP Black Paint

WP White Paint

NP Natural Aluminum Paint

GV Galvanized (No Paint)

FGV Finished Paint over Galvanized (Specify color)

OC Optional Color Paint Specify RAL designation or DECRA/024.

SC Special Color Paint Specify. Must supply color chip.

OPTIONS

FES Fessoon Outlet

AHH Additional Hand Hole

Couplings

Indicate size (1/2", 3/4", 1", 1 1/4", 1 1/2"). Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.

CL Coupling - Internal thread

Single Mount Bullhorn Brackets

Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.

GM-080-19 Single - 1.5" OD

GM-080-24 Single - 2.4" OD

For Fessoon Outlets and Additional Hand Holes, indicate height above base and orientation to original hand hole. See Pole Orientation Information on Page 4.

Motion Response Provisions

GMR Provision for Gardco HID Motion Response System

Minimum Pole Height is 18'. Includes a 12" coupling above 100' to the hand hole, 12' above the pole base.

MSM Motion Sensor Mounting Provision for LED Luminaires available with Motion Response

Minimum Pole Height is 18'. Includes a special hand hole with 12" coupling placed in the cover plate, 180° to the hand hole, 15' above the pole base.

Refer to Steel Pole Accessories sheet 79415-26 for additional accessories.

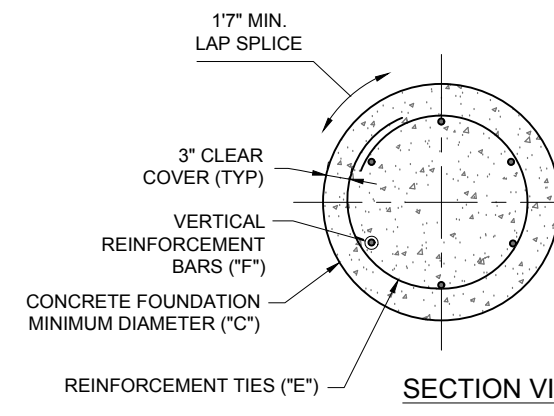
CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER
LIGHT POLE COLOR TO MATCH FIXTURE: BLACK

1611 Clovis Barker Road, San Marcos, TX 78666
(800) 227-0758 (512) 753-1000 FAX: (512) 753-7855 sales@lighting.com
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Philips Gardco reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.
79415-19/06.11



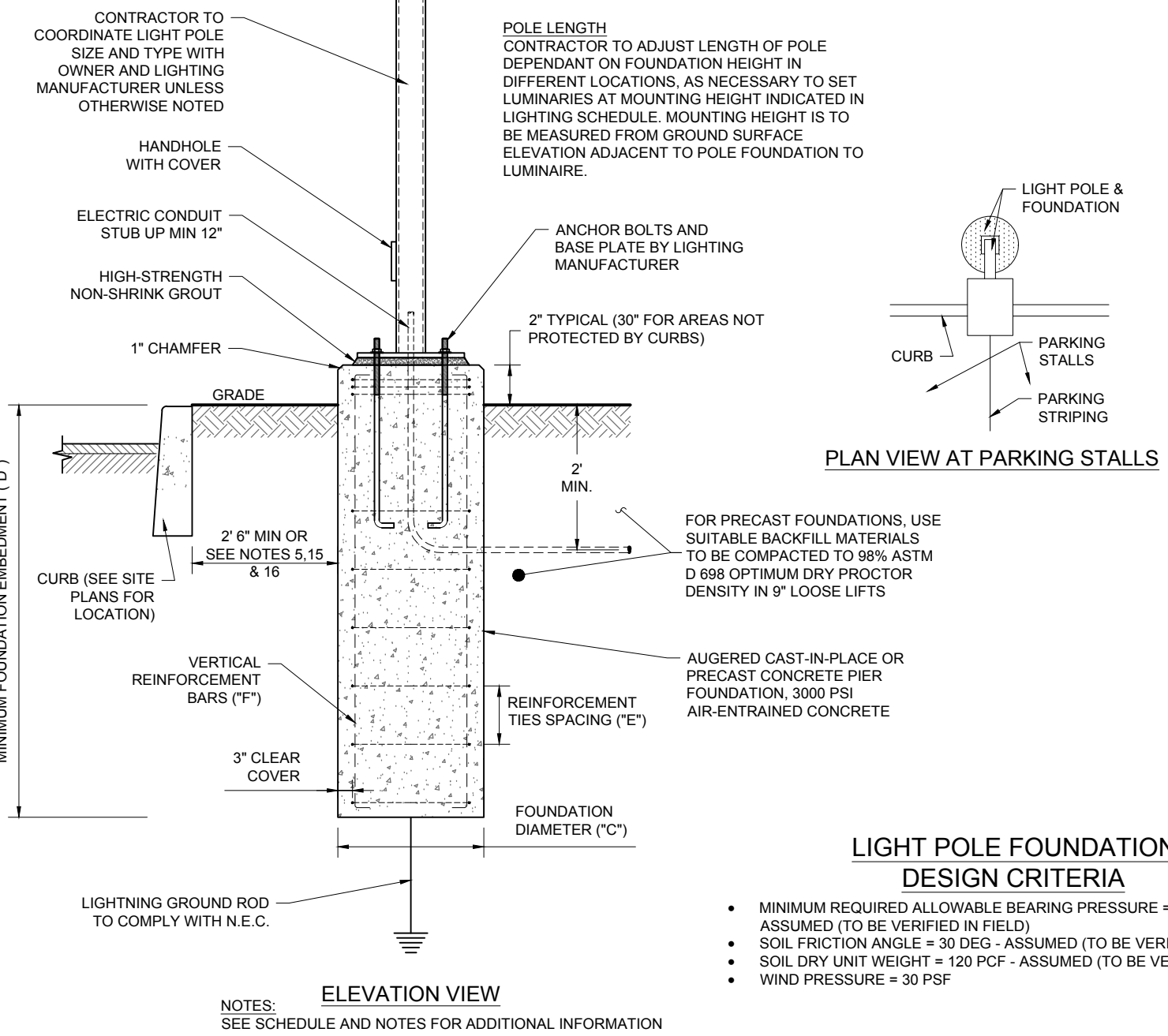
LIGHT POLE FOUNDATION NOTES

- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS, COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECTS STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED. UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL ENGINEER.
- IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY ASTM D 698.
- STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE. DETAILS ARE TO BE IN ACCORDANCE WITH ACI-315, "MANUAL OF STANDARD PRACTICE, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." FORM WORK SHALL CONFORM ACI-347 "GUIDE TO FORM WORK FOR CONCRETE", UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
- CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS.
- CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".



LIGHT POLE FOUNDATION SCHEDULE	
MAXIMUM HEIGHT ABOVE GRADE "A" **	15'-0"
ASSUMED AVERAGE POLE DIAMETER "B"	4"
# OF FIXTURES	DOUBLE
MINIMUM FOUNDATION DIAMETER "C"	18"
MINIMUM FOUNDATION DEPTH "D"	5'-6"
REINFORCING TIES "E" **	#3 TIES @ 12" C-C
VERTICAL HOOKED REINFORCEMENT "F"	(@ #5 BARS) EQUALLY SPACED

** = ADD 3 TIES, 4" C-C, AT TOP OF THE FOUNDATION
** THIS MAY NOT BE ACTUAL MOUNTING HEIGHT. SEE LIGHTING SCHEDULE

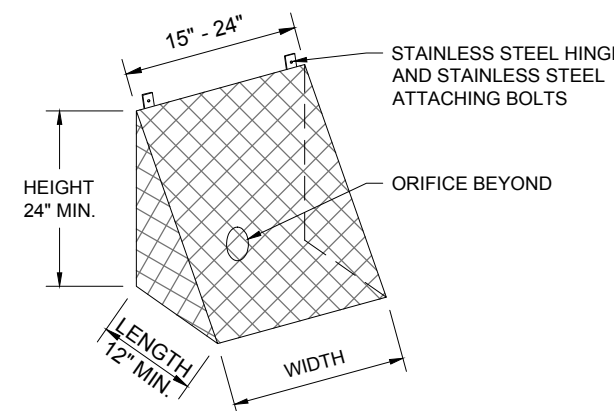


LIGHT POLE FOUNDATION DESIGN CRITERIA

- MINIMUM REQUIRED ALLOWABLE BEARING PRESSURE = 1,000 PSF - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL FRICTION ANGLE = 30 DEG - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL DRY UNIT WEIGHT = 120 PCF - ASSUMED (TO BE VERIFIED IN FIELD)
- WIND PRESSURE = 30 PSF

LIGHT POLE FOUNDATION DETAIL

NOT TO SCALE (1020101-01/2013)



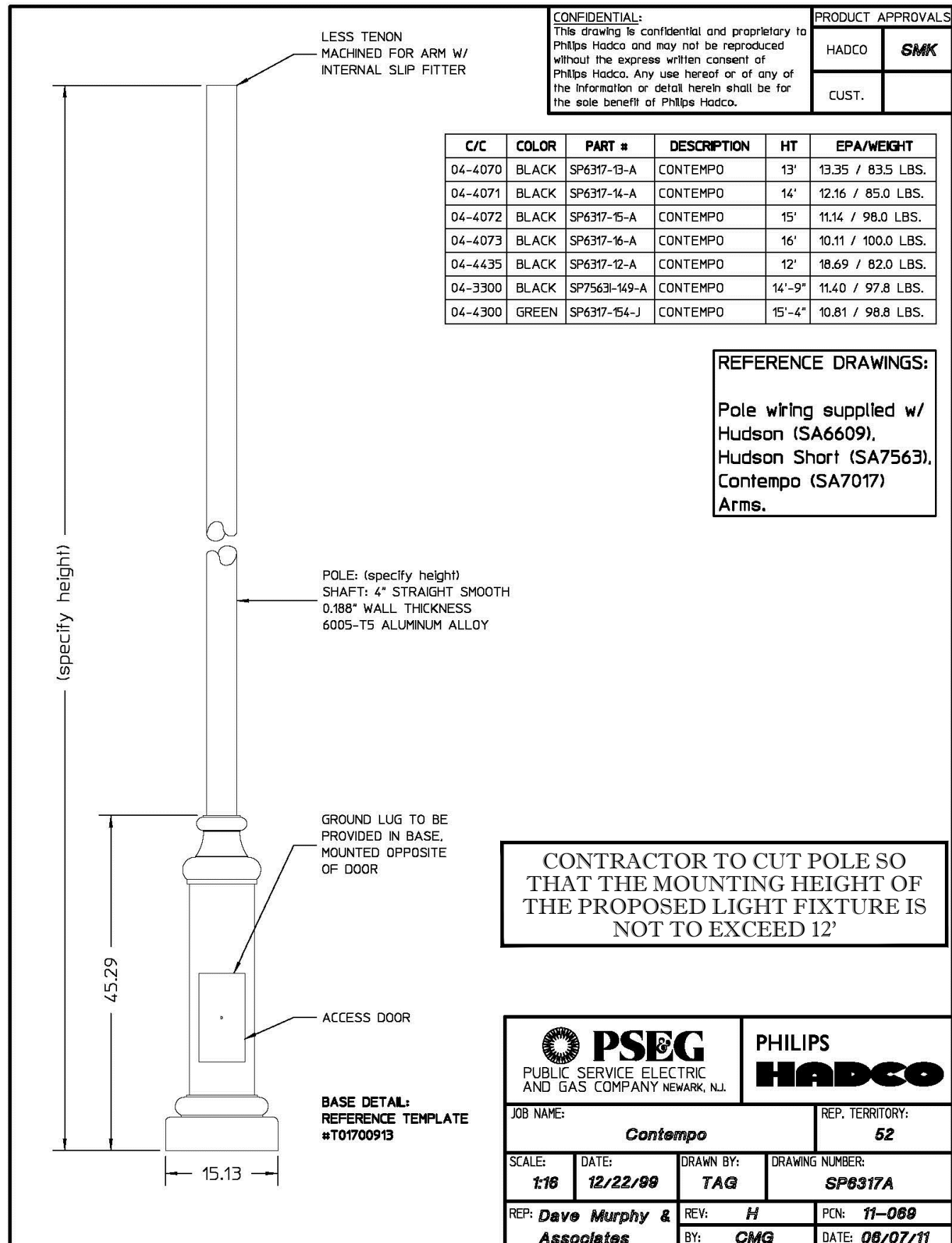
- NOTES:
- MAX. GRATE SPACING = 2"
 - CORROSION RESISTANT MATERIALS REQUIRED (ALUMINUM OR STAINLESS STEEL)
 - RACK MUST BE HINGED OR REMOVABLE FOR ACCESS
 - RACK MUST COMPLETELY SURROUND ORIFICE AREA. MINIMUM WIDTH 12" - DIAMETER OF ORIFICE (MIN. 15"). MINIMUM HEIGHT 21" - DIAMETER OF ORIFICE (MIN. 24"). LENGTH 8" - DIAMETER OF ORIFICE (MIN. 12")
 - LENGTH = 1/2" HEIGHT

TRASH RACK DETAIL

NOT TO SCALE (G020305-01/2013)

PSE&G PAD CONSTRUCTION DETAIL (THREE-PHASE) PADMOUNTED TRANSFORMER

NOT TO SCALE



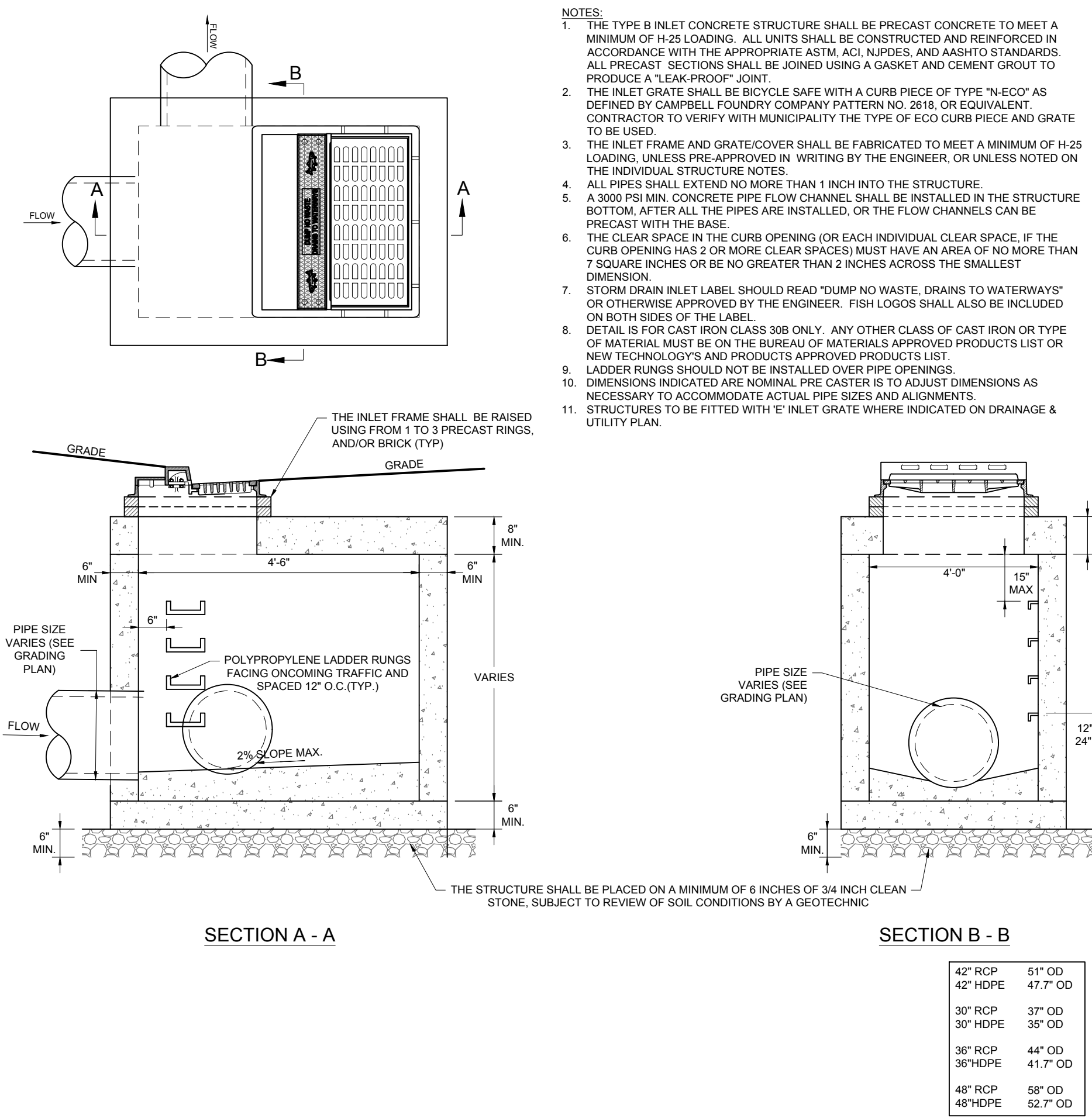
CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ MANUFACTURER
LIGHT POLE COLOR TO MATCH FIXTURE: BLACK

DECORATIVE LIGHT POLE SPECIFICATION (D-1)

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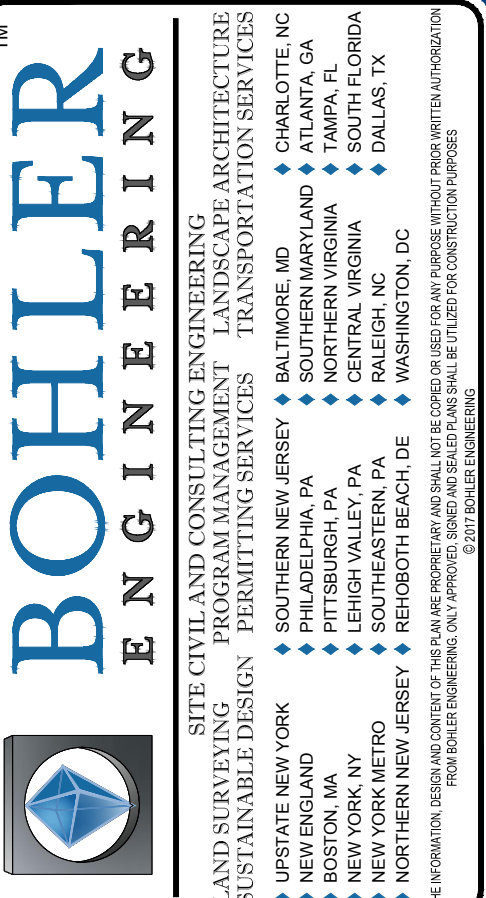
AREA LIGHT POLE SPECIFICATION (A-1 IS THRU A-6)

NOT TO SCALE (PHILIPS GARDCO)



TYPE 'B' OVERSIZED 5.5' x 5' INLET DETAIL

NOT TO SCALE (G020304-01/2013)



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DRAWN BY: GB/UZ
DATE: 10/27/2017
SCALE: AS SHOWN
CAD I.D.: J140578-CDS-1A

PRELIMINARY & FINAL MAJOR SITE PLAN FOR

ONE BAY URBAN RENEWAL LLC
PROPOSED MEDICAL OFFICE BUILDING
BLOCK 106, LOT 15 (GLEN RIDGE) AND BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE & TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

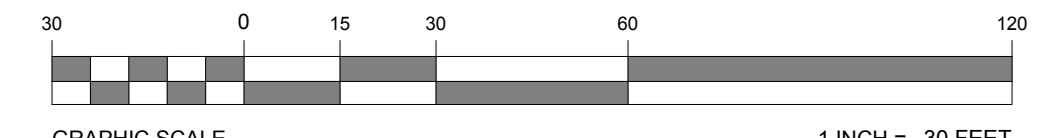
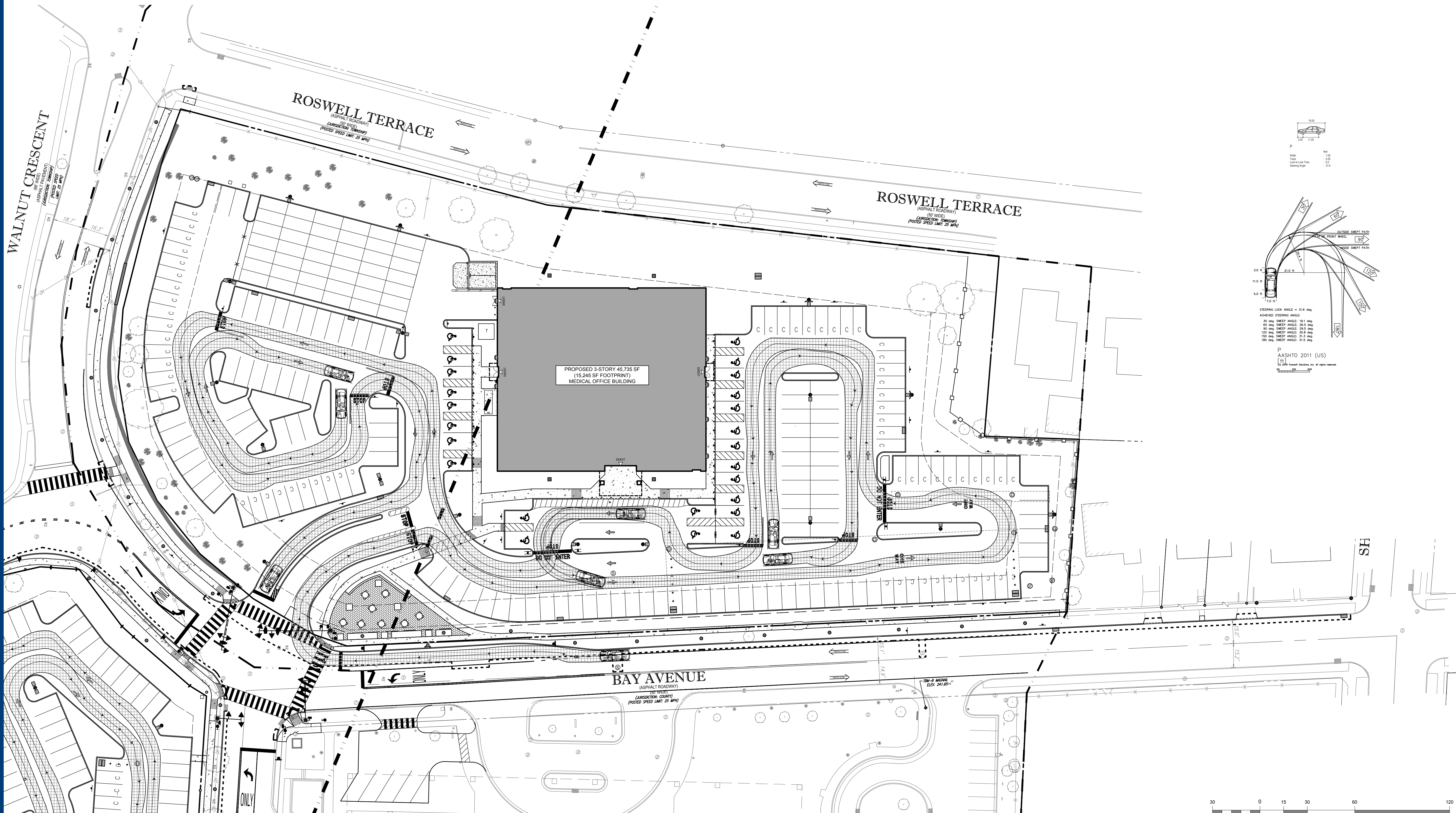
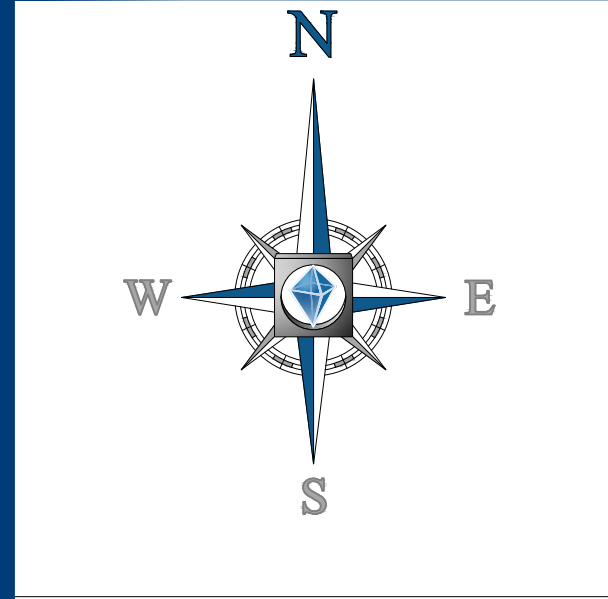
BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 688-6300
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www.BohlerEngineering.com
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SHEET TITLE:
DETAIL SHEET
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C-16
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SHEET TITLE:	
DETAIL SHEET	
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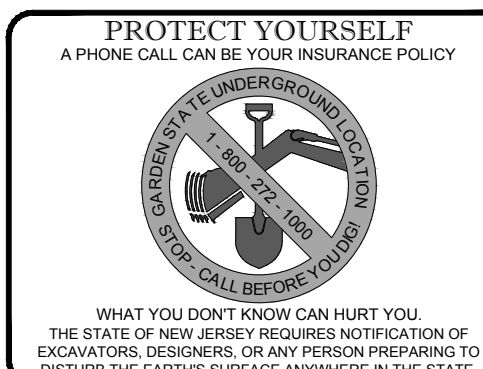


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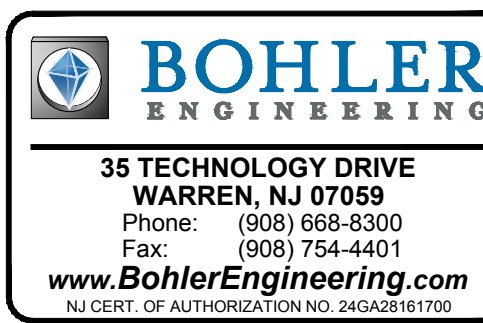


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CAD I.D.:	J140578-SPP-1A

PROJECT:
PRELIMINARY &
FINAL MAJOR SITE
PLAN
FOR

**ONE BAY URBAN
RENEWAL LLC**
**PROPOSED MEDICAL
OFFICE BUILDING**

**BLOCK 106, LOT 15 (GLEN RIDGE) AND
BLOCK 4215, LOT 1 (MONTCLAIR)
311 BAY AVENUE
BOROUGH OF GLEN RIDGE &
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY**



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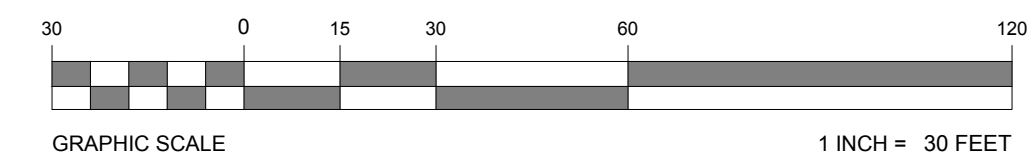
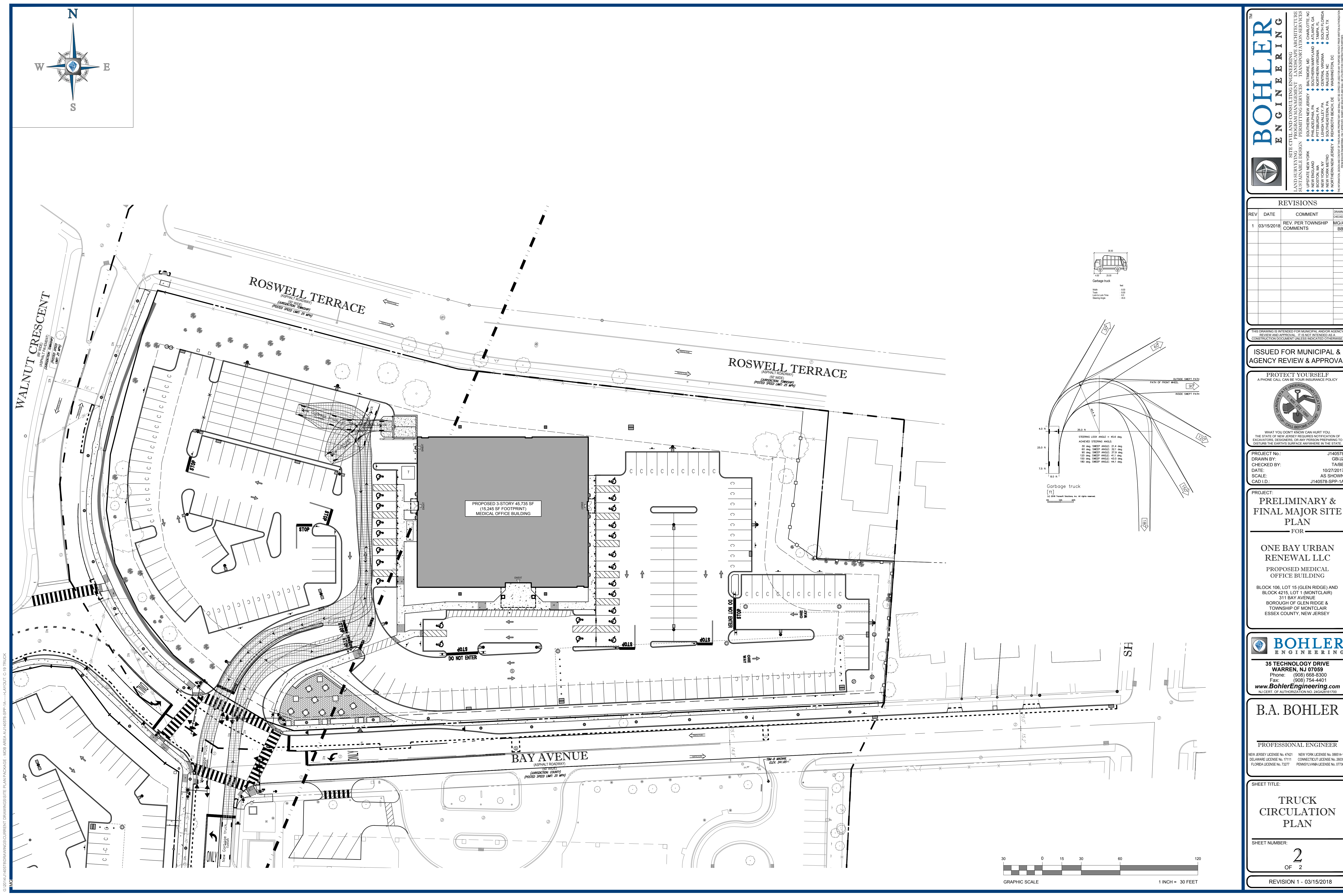
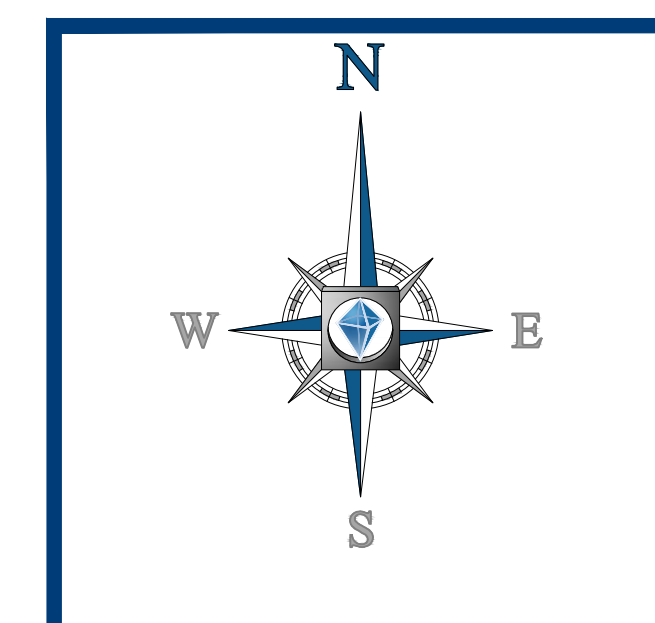
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PASSENGER CAR
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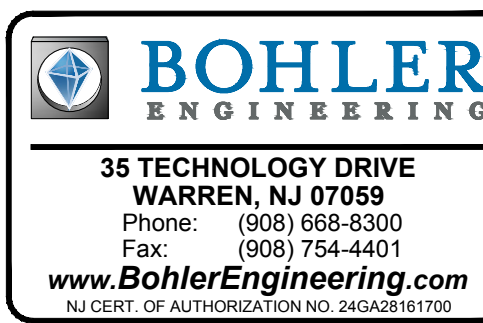


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CAD I.D.:	J140578-SPP-1A

PROJECT:
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PLAN
— FOR —

**ONE BAY URBAN
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**PROPOSED MEDICAL
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**BLOCK 106, LOT 15 (GLEN RIDGE) AND
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ESSEX COUNTY, NEW JERSEY**



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SHEET TITLE:

**TRUCK
CIRCULATION
PLAN**

SHEET NUMBER:

2

OF 2

REVISION 1 - 03/15/2018